



AEI Consultants

October 19, 2022

HUD DEMOLITION/DISPOSITION PNA

Property Identification:

Hawk View Apartments
1548 Steelwood Lane
Reno, Nevada 89512

AEI Project No. 459086
Site Inspection Date: May 18, 2022

Prepared For:

Housing Authority of the City of Reno
1525 East 9th Street
Reno, Nevada 89512

Prepared By:

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Zoning Analysis
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Surveys

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Regional Focus

Local Solutions



Housing Authority of the City of Reno
1525 East 9th Street,
Reno, Nevada 89512

Subject: HUD DEMOLITION/DISPOSITION PNA
Hawk View Apartments
1548 Steelwood Lane, Reno, Nevada 89512
AEI Project No. 459086

Dear Heidi McKendree:

AEI's Physical Needs Assessment (PNA) (the Physical Inspection Report) has been prepared for the above-mentioned asset (the Property). During the property assessment and research, our needs assessor met with agents representing the Property, or agents of the owner, and reviewed the property and its history. This assessment and Physical Inspection Report have been prepared in accordance with ASTM-2018 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process", and HUD's Special Application Center's (SAC) PIH Notice 2021-07.

This assessment included a site reconnaissance as well as research and interviews with on-site personnel and representatives of the regulatory agencies and property ownership. An assessment was made, preliminary cost estimates developed, and recommendations outlined.

The PNA was performed at the Client's request using the methods and procedures consistent with good commercial or customary practice designed to conform to acceptable industry standards. The Report may be relied upon by Housing Authority of the City of Reno, their respective successors and assigns, and by the United States Department of Housing and Urban Development (HUD).

In expressing the opinions stated in this report, AEI has exercised the degree of skill and care ordinarily exercised by a reasonably prudent capital needs assessor in the same community and in the same time frame given the same or similar facts and circumstances. Documentation and data provided by the Client, designated representatives of the Client or other interested third

parties, or from the public domain, and referred to in the preparation of this assessment, have been used and referenced with the understanding that AEI assumes no responsibility or liability for their accuracy.

The independent conclusions represent our professional judgment based on information and data available to us during the course of this assignment. AEI's evaluations, analyses and opinions are not representations regarding the design integrity, structural soundness, or actual value of the property. Factual information regarding operations, conditions and test data provided by the Client or their representative has been assumed to be correct and complete. The conclusions presented are based on the data provided, observations and conditions that existed on the date of the on-site visit.

Should you have any questions or require additional information, please contact Jeb Bonnett at 804-955-8373 or jbonnett@aeiconsultants.com.

Sincerely,



Staige Miller
Senior Vice President
AEI Consultants



Jeb Bonnett
Senior Vice President - HUD Building Assessments
AEI Consultants

TABLE OF CONTENTS

1.0 EXECUTIVE SUMMARY AND PROPERTY DESCRIPTION	5
1.1 Overall Condition Of The Property	7
1.2 Remaining Useful Life	11
1.3 List of Commonly Used Acronyms	11
2.0 PURPOSE AND SCOPE	13
2.1 Purpose	14
2.2 Scope of Work	14
2.3 Site Visit Information	16
2.4 Reliance	17
3.0 OVERALL GENERAL DESCRIPTION	18
3.1 Building and Unit Summary	18
3.2 Site	18
3.3 Structural Frame & Building Envelope	31
3.4 Mechanical & Electrical Systems	44
3.5 Life & Fire Safety	50
3.6 Interior Elements	51
4.0 ADDITIONAL CONSIDERATIONS	57
4.1 Moisture and Microbial Growth	57
4.2 Pest Management	57
4.3 Seismic Zone	58
4.4 Wind Zone	59
4.5 Flood Plain	59
4.6 Known Problematic Building Materials	60
5.0 DOCUMENT REVIEW & INTERVIEWS	61
5.1 Documents Reviewed	61
5.2 Interviews	61
5.3 Building Code Compliance	61
5.4 Fire Code Compliance	61
5.5 Zoning Compliance	61
5.6 HUD Real Estate Assessment Center (REAC) Inspection	61
6.0 ACCESSIBILITY & INTRUSIVE EXAMINATIONS	62
6.1 Accessibility	62
6.2 Intrusive Examinations	73
6.3 Owner Proposed Improvements	73
7.0 ASSESSOR QUALIFICATIONS	74
8.0 LIMITING CONDITIONS	76

TABLE OF APPENDICES

APPENDIX A: Street Map and Aerial Photo
APPENDIX B: Dwelling Unit Photo Documentation
APPENDIX C: General Photo Documentation
APPENDIX D: HUD SAC/PIH Notice
APPENDIX E: HUD TDC Calculation and HUD Form 52860-B
APPENDIX F: Property Substantial Renovation Estimate
APPENDIX G: USGS Seismic Design Map
APPENDIX H: Pre-Site Visit Questionnaire
APPENDIX I: Record of all Documents Reviewed, Interviews, and Supporting Information
APPENDIX J: Property Evaluator Qualifications

1.0 EXECUTIVE SUMMARY AND PROPERTY DESCRIPTION

AEI was retained by Housing Authority of the City of Reno on March 16, 2022 to conduct a Physical Needs Assessment (PNA) at Hawk View Apartments located at 1548 Steelwood Lane in Reno, Nevada. The property features 100 dwelling units within Twenty-Eight (28) buildings, which were built in 1984 and are situated on two parcels totaling 6.733 acres. The property was observed in fair physical condition.

The subject property is a Public Housing Facility initially developed in 1984, featuring a Maintenance Garage, Leasing Office with Community Room and a Laundry Room Building. The apartment buildings are all two-story with individual MEP rooms adjacent to the entry of each apartment unit. All units are 2-bed/1-bath, with natural gas-fired water heater and heat pump split-system HVAC units. Units are individually metered for electric and natural gas. Buildings are individually metered for domestic water. Each apartment unit is accessed from an exterior entrance with lower units including a rear patio area. Upper floor units are accessed via covered open-air stairway. The buildings are individually addressed and are considered individual with four (4) units each by onsite management, despite some being connected at roofs and rear cladding, AEI maintained this consideration when composing this report.

Evidence of foundation settling was observed within the apartment buildings and Leasing Office, management provided a foundation analysis which provides analysis and commentary on the foundation system condition which is further discussed in the Foundation Section 3.3.1 below.

Please note that AEI's repair estimates for property needs over the next three years currently total **\$14,955,811**. HUD's 2022 Total Development Cost (TDC) thresholds, the new construction cost allowance to completely rebuild the site is valued at **\$24,499,200**. According to HUD's Special Application Center's (SAC) PIH Notice 2018-04, in order for the property to be considered an qualified candidate for demolition or disposition, the ratio of renovation costs to new construction costs needs to exceed **57.14%**. Per this initial renovation model, the estimated costs for the required scope of work **DOES** qualify the property for a demolition/disposition application as the cost ratio is **61.05%**.

Please note that it is AEI's understanding that only the resident buildings, and areas within 5-feet of the perimeter of the foundations can be considered towards the renovation costs. AEI has excluded general site conditions from the rehabilitation schedule per HUD PIH Notice instructions.

A summary of the Property improvements is provided in the following table.

Item	Description
Property Type	Multifamily
Number of Floors	2-/Res. Apt.; 1-/Community
Number of Apartment Units	100
Total Number of Buildings	Twenty-Eight (28)
Number of Apartment Buildings	Twenty-five (25)
Ancillary Buildings	Leasing Office, Maintenance Garage and Laundry
Parking	100 total spaces 94 of Regular Spaces Seven (7) of Accessible Spaces with a single Van Accessible Spaces at

Item	Description
	the Leasing Office No covered parking is provided Source: Property Management
Gross Floor Area	98,600 per Property Management
Net Rentable Floor Area	86,500 per Rent Roll
Site Area	6.733 acres per Assessor
Year of Construction	1984 per Assessor

1.1 OVERALL CONDITION OF THE PROPERTY

Overall Condition of the Property

Based on AEI's observation of the Property and improvements, the Property appears to be in overall fair condition.

Accessibility Deficiencies:

ADAAG Concerns:

- Each of the UFAS qualifying dwelling units is equipped with an accessible parking space. The spaces were observed with a non-compliant access ramp to the adjacent flatwork site pathway to the dwelling unit. AEI recommends the installation of a compliant curb cut at each accessible space provided at each UFAS qualifying dwelling unit.
- The route to the common area Laundry, Leasing Office buildings and Leasing Office Playground from the onsite UFAS qualifying dwelling units was not accessible due, to the site slope requiring steps and lack of curb depressions needed to navigate them. AEI recommends further analysis by an architect to provide compliant site pathways to all onsite amenities from the five (5) UFAS qualifying dwelling units.
- The Leasing Office was observed with a van complaint parking space which was missing the van specific signage. AEI recommends the instillation of van specific signage at one of the two Leasing Office accessible parking spaces.
- The laundry building is equipped with an accessible parking space which was observed to have a curb cut but with a non-compliant pathway from the space to the curb cut. AEI recommends moving the accessible space and signage, so the pathway lines up with the provided curb cut.
- Three (3) site stairways between 1512 and 1504 Buildings were observed with a single hand railing. Complaint dual hand railings should be provided on both sides of onsite stairways.
- Both playground areas were observed with exposed bare ground and the absorptive surfacing was observed to be deficient requiring replacement. AEI recommends the replacement of the absorptive ground cover at both playgrounds.

UFAS/State Code Concerns:

- UFAS qualifying dwelling units: 1504/1, 1544/3, 1548/1, 2519/3 and 2541/1.
- Leasing office community kitchen was observed without compliant accessible modifications. The kitchen was not equipped with a lowered or roll-under counter at the sink, a complaint workspace or front controlled range. AEI recommends the facility remodel the community kitchen to comply with Uniform Federal Accessibility Standards (UFAS).

- The UFAS dedicated dwelling unit kitchens were observed without cabinet and drawer handles/pulls. In order to comply with Uniform Federal Accessibility Standards (UFAS), the installation of compliant cabinet and drawer handles/pulls is required.
- The roll-under kitchen and bathroom sinks located in the UFAS were observed without or with partial scald and abrasion protection. The installation of full coverage scald and abrasion protection is required.
- The bathrooms in the UFAS dwelling units were observed with inadequate clear floor space at the toilet and sink. In order to comply with the UFAS, reconfiguring the restrooms in UFAS compliant dwelling units will be required.
- Kitchen and bathroom sinks were observed missing scald/abrasion protection. In order to comply with the UFAS, installation of piping protection will be required.
- The refuse enclosures were observed to be without a compliant accessible pathway from the UFAS dwelling units. To comply with UFAS AEI recommends the installation of a complaint pathway from the UFAS dwelling units to refuse enclosures.
- The property was originally constructed in 1984 and features project-based assistance. The apartments are therefore subject to the requirements of Section 504 of the Rehabilitation Act of 1973, which states that 2% or two (2) non-designated handicapped dwelling units are required to have audio/visual smoke alarms, currently there are no units that have this feature.
- The dwelling units are heated via a gas fired furnace and heated water is provided via a gas fired water heater. The MEP for each dwelling unit is positioned in an attached MEP room. These rooms are within the apartment buildings and share a wall with the dwelling units. While NV state law required CO detection in new construction single family and duplex residences. As a best management practice AEI recommends the installation of CO detection be installed within the dwelling units.

FHA Design Concerns:

- The property was built before March 13, 1991 (actual 1984) and therefore FHA Design does not apply.

Building Envelope/Foundation:

- Property Management indicated the facility has been experiencing movement of the apartment buildings, which are developed with a crawl space including perimeter continuous footing and interior cripple wall over continuous footings. A structural analysis was performed by McElhaney Structural Engineers on the interior continuous footings at this site. The analysis revealed severe deficiencies in the concrete footings.
- The Leasing Office building which was not included in the provided analysis is moving with significant cracking and uplift just inside the main entrance to the building. Additional evidence of movement was also observable in the displaced ceiling drywall board. The prescribed repair of this building would likely be different, due to the slab

type foundation. Based on the observed and reported evidence of movement, AEI recommends further analyses of the building foundation system at the Leasing Office by a qualified Structural Engineer.

- Each dwelling unit was observed with two (2) entry doors and one (1) door to the mechanical room. The doors were observed, due to settlement issues, age and condition, the doors have failing seals and becoming inoperable. Replacement of the doors is recommended.
- Vinyl windows were observed; however, due to foundational shifting (settlement) issues the windows have failing seals and becoming inoperable. Replacement of the windows is recommended.
- There are extensive areas of brick veneer at the units that feature missing mortar, cracking and displaced veneer from settling which appear to be original to 1984. Repair/ replacement of those areas of brick veneer is recommended.
- The textured T1-11 wood siding was observed to be mostly original to the date of construction (1984). Replacement of approximately 75% of the textured wood siding and exterior trim is recommended based on observed damage and settlement issues.
- Removal and replacement of building select framing, insulation and gypsum board is needed to gain access for plumbing piping replacement and correct settlement issues.

Unit Finishes:

- The unit gypsum board (drywall) was observed to be in fair to poor condition. The drywall as observed areas of cracking and separating due to foundation issues. Replacement of the plumbing pipes warranted removal of select areas (approximately 90% in total) of drywall is needed.
- With removal of approximately 90% of drywall, complete painting of the walls and ceilings in the dwelling units is needed.
- Removal and replacement of the unit kitchen cabinets and vanities based on gaining access to plumbing piping and age/condition (Fair/Poor).
- The dwelling unit interior doors was observed, due to settlement issues, age and condition, the doors are becoming inoperable and will not stay on track. Replacement of the doors is recommended.
- It was reported that the sealants around the tub surrounds were failing in many of the units. Replacement of sealants is recommended.
- The units ceramic tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new underlayment and ceramic tile is required.
- The units VCT tile flooring was observed to be in poor condition with areas of missing and damaged tiles. Select areas of VCT tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new VCT tile is required.

Plumbing Systems:

- The plumbing lines on-site were observed to be in poor condition with the site reporting multiple issues of leaks and backups. In a majority of the inspected units, water damage due to plumbing leaks were observed on the ceiling of kitchen directly below the unit bathrooms. In several of units, water was observed to be infiltrating the bathroom subfloors and damaging the floor joists. Replacement of the water and waste lines is recommended.
- The property features individual 40-gallon gas water heaters of various ages (approximately 75% are 2003 and 25% are 2013/14). With plumbing piping replacement being performed, replacement of water heaters is recommended.
- The bathroom fixtures were observed to be in poor condition. Due to plumbing piping replacement and potential leaks, replacement is recommended.

HVAC Systems:

- The units feature gas-fired furnaces for heat and outdoor condensing units with replacement on an as-needed basis. Select components were observed in various conditions (some appear to be in disrepair/not functioning properly). Replacement of the furnaces, condensers, thermostats and select ductwork is recommended.
- The dwelling units feature bathroom exhaust fans that were reported to be original to the date of construction (1984) and in various operating conditions. Replacement of the fans and ducting is recommended.

Unit Electrical Service:

- Apartment units' circuit breaker panels and electrical devices require 3-year modernization.
- Select electrical devices were observed to be original to the date of construction and therefore, replacement in conjunction with the panel replacement is recommended.
- Based on observations during the inspection, select fixtures were broken, non-operational, missing. Replacement of lighting fixtures is recommended.

Fire & Life Safety:

- Each dwelling unit equipped with a main area hard-wired smoke detectors with battery back-up, each bedroom was observed with a battery-operated (non-compliant) smoke detector. Per HUD MAP Guidelines; according to Life Safety Code (NFPA 101), paragraph 31.3.4.5.1, smoke alarms must be installed outside every sleeping area in the immediate vicinity of the bedrooms and on all levels of the dwelling unit, including basements. In addition to the NFPA requirements, the regulation in 24 CFR 200.76 requires that smoke detectors must also be installed inside each sleeping area; therefore, the installation of compliant smoke detectors within all the dwelling unit bedrooms is required. The smoke detectors must be hard wired.

Recommendations in this Report

The recommendations in this report are based upon ASTM guidelines and are limited to visual observations. Testing of systems was not performed and no invasive or destructive testing was undertaken. The condition of all items is to be described as good, fair, or poor based on the ASTM E2018-15 standards.

Good Condition: In working condition and does not require immediate or short-term repairs above an agreed threshold.

Fair Condition: In working condition but may require immediate or short-term repairs above an agreed threshold.

Poor Condition: Not in working condition or requires immediate or short-term repairs above an agreed threshold.

The agreed threshold is presumed to be the *de minimus* reporting threshold.

1.2 REMAINING USEFUL LIFE

Generally, wood framed buildings have a useful life of 50 years per industry standards. The buildings at the property are approximately 38 years old and are nearing the end of their useful life due to structural concerns.

1.3 LIST OF COMMONLY USED ACRONYMS

ADA	The Americans with Disabilities Act
AHU	Air Handling Unit
ASTM	American Society for Testing and Materials
BOMA	Building Owners & Managers Association
BUR	Built-up Roof System
BTU	British Thermal Unit (a measurement of heat)
DWV	Drainage, Waste, Ventilation
EIFS	Exterior Insulation and Finish System
EMS	Energy Management System
EPDM	Ethylene Propylene Diene Monomer (rubber membrane roof)
EUL	Expected Useful Life
FCU	Fan Coil Unit
FEMA	Federal Emergency Management Agency
FFHA	Federal Fair Housing Act
FHA	Forced Hot Air
FHW	Forced Hot Water
FIRMS	Flood Insurance Rate Maps
FOIA	U.S. Freedom of Information Act (5 USC 552 et seq.) and similar state statutes.
FOIL	Freedom of Information Letter
GFI	Ground Fault Interrupt (circuit)
GPNA	Green Physical Needs Assessment
GWB	Gypsum Wall Board
HVAC	Heating, Ventilating and Air Conditioning
IAQ	Indoor Air Quality
IM / IR	Critical or Non-Critical Repair
MEP	Mechanical, Electrical & Plumbing

MDP	Main Distribution Panel
NA	Not Applicable
NFPA	National Fire Protection Association
PCA	Property Condition Assessment
PCR	Property Condition Report
PML	Probable Maximum Loss
PTAC	Packaged Through-wall Air Conditioning (Unit)
R&M	Repair and Maintain - Routine Maintenance
RR	Replacement Reserve
RTU	Rooftop Unit
SF	Square Feet
TPO	Thermoplastic Polyolefin Roof Membrane
VAV	Variable Air Volume Box
WDO	Wood Destroying Organisms

2.0 PURPOSE AND SCOPE

Cost Calculation Methodology

Estimates are based on construction costs developed by construction resources such as Marshall & Swift, RS Means, AEI's Commercial Inspectors' experience with past costs for similar projects, city cost indexes, consulting with local specialty contractors, client provided information, and assumptions regarding future economic conditions.

Actual costs may differ from AEI's cost estimates. Actual cost estimates are determined by many factors including but not limited to: choice and availability of materials, choice and availability of a qualified contractor, regional climate zone, quality of existing materials, site compatibility, and access to the subject property and buildings. Costs are solely based on material replacement and do not account for soft costs.

Effective Useful Life (EUL) is the average amount of time in years that a system, component or structure is estimated to function when installed new and assuming that routine maintenance is practiced. It is based upon site observations, research, and judgment, along with referencing EUL tables from the United States Department of Housing and Urban Development guidelines. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age.

The Remaining Useful Life (RUL) is a subjective estimate based upon observations, or average estimates of similar items, components, or systems, or a combination thereof, of the number of remaining years that it is estimated to be able to function in accordance with its intended purpose before requiring replacement. Such period of time is affected by the initial quality of the system or component, the quality of the initial installation, the quality and amount of preventive maintenance, climatic conditions, extent of use and other factors.

The RUL estimate is an expression of a professional opinion and is not a guarantee or warranty, expressed or implied. This estimate is based upon the observed physical condition of the property at the time of the visit and is subject to the possible effect of concealed conditions or the occurrence of extraordinary events such as natural disasters or other unforeseen events that may occur subsequent to the date of the site visit. The RUL estimate is made only with regard to the expected physical or structural integrity of the improvements on the Property. Based upon observations during our site visit and information received from our interviews with building management and service personnel, which for the purpose of the PNA was deemed reliable, AEI prepared general-scope, Opinions of Probable Cost based on appropriate remedies for the deficiencies noted. Such remedies and their associated costs were considered commensurate with the Property's position in the market and prudent expenditures. These opinions are for components of systems exhibiting significant deferred maintenance, and existing deficiencies requiring major repairs or replacement. Repairs or improvements that could be classified as (i)

cosmetic, (ii) decorative, (iii) part or parcel of a building's renovation program or to reposition the asset in the marketplace, (iv) routine or normal preventative maintenance, or (v) that are the responsibility of the tenants were not included.

2.1 PURPOSE

The purpose of this survey and related report is to assist Housing Authority of the City of Reno and HUD in the evaluation of the physical aspects of the subject property and how its condition may affect the soundness of their financial decisions over time. For this assessment, the Project Manager has performed a reconnaissance assessment of the subject property and its improvements, evaluated the apparent physical conditions, reviewed available documentation, assessed the expected useful life (EUL), and estimated the cost for repairs, replacements, and significant maintenance items. The Project Manager assessed a representative sample of the building/s; the assessment typically included roofs, operational components, parking structures, and all common areas and exteriors.

The PNA is not, and should not be construed as, a warranty or guarantee about the condition of the improvements. Neither is the Assessment intended to assure clear title to the property in question. This investigation was prepared for the sole use and benefit of Housing Authority of the City of Reno and HUD. Neither this report, nor any of the information contained herein shall be used or relied upon for any purpose by any person or entity other than Housing Authority of the City of Reno and HUD.

We have performed our services and prepared this Report in accordance with applicable, generally accepted engineering, environmental or appraisal consulting practices. We make no other warranties, either expressed or implied, as to the character and nature of such services and product.

2.2 SCOPE OF WORK

AEI's Physical Needs Assessment (PNA) (the Physical Inspection Report) has been prepared for the above-mentioned asset (the Property). During the property assessment and research, our needs assessor met with agents representing the Property, or agents of the owner, and reviewed the property and its history. This assessment and Physical Inspection Report have been prepared in accordance with ASTM-2018 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process", and HUD's Special Application Center's (SAC) PIH Notice 2021-07. The PNA was performed at Hawk View Apartments property located at 1548 Steelwood Lane in Reno, Nevada. The scope of work included the following:

- The inspection of at least 25% of each unit type;
- The visual examination of the property's components, including MEP equipment, exterior walls, roofing, foundations, landscaping, utilities, and interior elements;
- The interviewing of property management and tenants;
- The information gathering from Freedom of Information request letters from the local Building, Zoning, and Fire departments;

Any exceptions to, or deletions from, this practice are described in Section 7 of this report.

2.2.1 ASSESSMENT METHODOLOGY

The PNA meets the specifications of the lender and has included the following:

Preliminary Due Diligence

Prior to the site visit by the Property Evaluator, the pre-survey questionnaire was provided to the managers of the Property with a request that the questionnaire be completed prior to the visit.

Site Reconnaissance

The PNA findings are based on the visual, non-intrusive and non-destructive evaluation of various external and internal site and building systems and components as noted during a site walk-through survey conducted by AEI representatives. The survey included access and observation of representative tenant spaces and common areas.

Interviews and Research

AEI representatives conducted limited research to identify and review available maintenance procedures, available drawings, and other readily available documentation concerning the property. AEI representatives also conducted interviews with available management and maintenance staff. As conditions warranted, contractors for the property were contacted for pertinent information. AEI requested readily available records with public agencies familiar with the property to gather historical property information. A summary of findings have been included in the narrative sections of this report.

Report

The evaluation covered readily apparent conditions at the property. Upon completion of the site reconnaissance, interviews, and research, AEI produced this summary report. This report includes a discussion of topics related to the property condition and outlines the costs to correct the deficiencies noted. Based upon observations during our site visit and information received from our interviews with building management and service personnel, which for the purpose of the PNA was deemed reliable, AEI prepared general-scope, Opinions of Probable Cost based on appropriate remedies for the deficiencies noted. Such remedies and their associated costs were considered commensurate with the Property's position in the market and prudent expenditures. These opinions are for components of systems exhibiting significant deferred maintenance, and existing deficiencies requiring major repairs or replacement. Repairs or improvements that could be classified as (i) cosmetic, (ii) decorative, (iii) part or parcel of a building's renovation program or to reposition the asset in the marketplace, (iv) routine or normal preventative maintenance, or (v) that are the responsibility of the tenants were not included.

It is the intent of the PNA to reflect material physical deficiencies and the corresponding opinion of probable costs that are (i) commensurate with the complexity of the Property and (ii) not minor or insignificant.

Standard Estimated Useful Life (EUL)

The EUL is the average amount of time in years that a system, component or structure is estimated to function when installed new and assuming that routine maintenance is practiced. HUD has hard coded an EUL associated with every component.

Assessed Remaining Useful Life (ARUL)

This is the Needs Assessor's best professional judgment of the actual RUL of the Component ID based on observed conditions that may not agree with the auto-populated value in the Standard Remaining Useful Life field.

Standard Remaining Useful Life (SRUL)

The SRUL Displays the RUL based on the Standard EUL less the current age of the component. This is an auto-populated field that is strictly math based.

2.3 SITE VISIT INFORMATION

Site Visit Facts

Date of Site Visit	May 18, 2022
Time of Site Visit	12:30 PM
Weather Conditions	Clear and approximately 83 degrees F
Site Assessor	Matt Youngblood
Site Escorts	Darrell L. Playford
Point of Contact	Darrell L. Playford
Total Units Inspected	Twenty-six (26)

Dwelling Units Inspected

Building Identification	Unit Type	Unit Identification	Unit Status
1500	2-bed/1-bath	715/2	Occupied
1508	2-bed/1-bath	719/1	Occupied
1516	2-bed/1-bath	726/4	Occupied
1524	2-bed/1-bath	729/3	Occupied
1504	2-bed/1-bath	703/1	Occupied
1512	2-bed/1-bath	709/3	Occupied
1512	2-bed/1-bath	710/4	Vacant
1520	2-bed/1-bath	714/4	Occupied
1528	2-bed/1-bath	691/1	Occupied
1536	2-bed/1-bath	698/4	Occupied
1544	2-bed/1-bath	701/3	Occupied
1532	2-bed/1-bath	681/3	Occupied
1540	2-bed/1-bath	685/3	Occupied
1548	2-bed/1-bath	687/1	Occupied
2531	2-bed/1-bath	668/2	Occupied
2539	2-bed/1-bath	672/2	Occupied
2545	2-bed/1-bath	677/3	Occupied
2527	2-bed/1-bath	655/1	Occupied
2535	2-bed/1-bath	659/2	Vacant
2541	2-bed/1-bath	663/1	Occupied
2505	2-bed/1-bath	643/3	Occupied
2509	2-bed/1-bath	649/3	Occupied
2519	2-bed/1-bath	653/3	Occupied
2501	2-bed/1-bath	631/1	Occupied
2515	2-bed/1-bath	636/2	Occupied
2523	2-bed/1-bath	641/3	Occupied

2.4 RELIANCE

The PNA is not, and should not be construed as, a warranty or guarantee about the condition of the improvements. Neither is the Assessment intended to assure clear title to the property in question. The investigation was conducted on behalf of and for the exclusive use of Housing Authority of the City of Reno (Client) and HUD solely for use in a property condition evaluation of the subject property. This report and findings contained herein shall not, in whole or in part, be disseminated or conveyed to any other party, nor used by any other party, in whole or in part without prior written consent of AEI. AEI acknowledges and agrees that the report may be conveyed to and relied upon by the Client, their successors and assigns, rating agencies and bond investors.

Reliance is provided in accordance with AEI's Proposal and Terms and Conditions executed by Housing Authority of the City of Reno on March 16, 2022. The limitation of liability defined in the Terms and Conditions is the aggregate limit of AEI's liability to the client and all relying parties.

3.0 OVERALL GENERAL DESCRIPTION

3.1 BUILDING AND UNIT SUMMARY

The Project Manager's findings are derived from a thorough review of all available resources, including but not limited to, construction drawings, rent rolls, interviews with property management, and field inspection observations.

Unit Mix Breakdown

Unit Type ID	Square Feet	# of This Floorplan	Total Unit Square Footage
2-bed/1-bath	865	100	Total NSF: 86,500

Building Breakdown

Building Identifier	Number of Stories	Gross Square Feet
Leasing Office	1	1,057
Maintenance	1	576
Laundry	1	675
1500	2	3,560
1508	2	3,560
1516	2	3,560
1524	2	3,560
1504	2	3,560
1512	2	3,560
1520	2	3,560
1528	2	3,560
1536	2	3,560
1544	2	3,560
1532	2	3,560
1540	2	3,560
1548	2	3,560
2531	2	3,560
2539	2	3,560
2545	2	3,560
2527	2	3,560
2535	2	3,560
2541	2	3,560
2505	2	3,560
2509	2	3,560
2519	2	3,560
2501	2	3,560
2515	2	3,560
2523	2	3,560
		Total GSF: 98,600

3.2 SITE

3.2.1 SITE TOPOGRAPHY

The Property slopes moderately from the elevated northern side downward to the southern side of the site. Rip rap back stabilization is present at areas of the site. Site grade is additionally maintained by onsite buildings. The western adjacent property is also above onsite grade and the property additionally slopes downward to the east.

3.2.2 STORMWATER DRAINAGE

Item	Description	Action	Condition
Topography	Moderate slopes throughout Property	R&M	Good
Retaining Walls	Masonry retaining walls, landscape timber retaining walls, concrete tapered slopes and rip rap stable sloping soils are present	R&M	Good/Fair
Adjoining Properties	The Property slopes moderately from the elevated northern side downward to the southern side of the site. The western adjacent property is also above onsite grade and the property additionally slopes downward to the east, with the eastern offsite property below grade.	R&M	Good
Storm Water Collection System	Underground municipal drainage system with drive lanes also conveying onsite stormwater	R&M	Good
Landscape Drainage System	Landscaped areas sloped towards area drains	R&M	Good
Pavement Drainage System	Hardscape directs storm water to adjacent municipal street	R&M	Good
Foundation Drainage System	Landscaping slopes away from the foundation.	R&M	Good

ASSESSMENT / RECOMMENDATION

No notable deficiencies or indications of deferred maintenance of topography, drainage or retaining wall features were observed or reported.

Photographs



Eastern side of site at southern corner



Western side of site southern end



Typical asphalt paving



Partially retaining site wall at northern end of site



Partially retaining site wall at northern end of site



Wrip-wrap covered site slope



Landscaping timber retaining wall



Landscaping timber retaining wall

3.2.3 ACCESS & EGRESS

Items	Description	Action	Condition
Site Access	Provided by a northern and southern positioned entrances from the adjoining municipal roadways	R&M	Good

Items	Description	Action	Condition
Signalization at Site Access	No traffic lights are provided at the entrances to the Property	NA	Not applicable
Easement or Alley Way	No Easement or alleyways were observed or reported.	NA	Not applicable

Photographs



Northern facility entrance and signage



Southern facility entrance and signage

3.2.4 PAVING, CURBING, & PARKING

The asphalt pavement was observed with worn seal coat. Installation of seal coat is recommended after the asphalt repairs are performed. (Non-Critical Repair)

Select areas of asphalt pavement were observed damaged. Repair of the damaged asphalt is recommended. Property Management reported that a phased replacement approach had been historically been taken. AEI observed approximately 25% of the asphalt paving was in need of repairs. (Non-Critical Repair)

Items	Description	Action	Condition
Asphalt Pavement	Asphalt pavement is provided for on-site parking and drive lanes	IM	Fair
Concrete Pavement	Dumpster Pad and drainage swales in drivelaners	R&M	Good
Curbing	Concrete	R&M	Good
Seal Coating	Worn and considered at the end of its useful life	IM	Fair
Striping	Painted parking striping faded and worn	R&M	Fair
Total Number of Parking Spaces	100 spaces in open lots	R&M	Good
Number of ADA Spaces	Seven (7)	R&M	Good

Photographs



Typical asphalt paving



Typical asphalt paving



Typical asphalt paving



Typical asphalt paving



Refuse container with no accessible pathway
(Critical Repair)

3.2.5 FLATWORK (WALKS, PLAZAS, TERRACES, PATIOS)

An area of flatwork in the vicinity of the site stairways between 1512 and 1504 Buildings were observed with sectional uplift creating a trip hazard. AEI recommends the replacement of the flatwork at this area. (Critical Repair)

Three (3) site stairways between 1512 and 1504 Buildings were observed with a single hand railing. Complaint dual hand railings should be provided on both sides of onsite stairways. (Critical Repair)

Item	Description	Action	Condition
Sidewalks	Concrete	R&M	Good/Fair
Ramps	Not applicable	NA	Not applicable
Exterior Steps	Concrete steps located along pedestrian walkways due to changes in topography (Critical Repair)	IM	Good/Fair
Handrails	Steel handrails protect exterior steps and ramps	R&M	Good/Fair
Loading Docks	Not applicable	NA	Not applicable

Photographs



Site stairway and sectional uplift trip hazard between 1512 and 1504 Buildings, single hand railing at 3 site stairways (Critical Repair)



Site stairway north of 2539 and 2545 Buildings



Site stairway between 2539 and 2545 Buildings



Flatwork site access northern end of site



Typical flatwork in front of apartment building



Typical flatwork termination at drive intersection



Area of flatwork sectional repair

3.2.6 LANDSCAPING & APPURTENANCES

AEI observed an area of bare ground at rear of maintenance garage, AEI recommends the area of bare ground be covered by landscaping ground cover materials. (Non-Critical Repair)

Item	Description	Action	Condition
Landscaping	Trees, shrubbery, and lawn	IM	Good/Fair
Irrigation	Areas with automatic underground system	R&M	Good
Perimeter Fencing	Chain link fencing and masonry wall	R&M	Good/Fair
Entry Gates	Not applicable	NA	Not applicable
Patio Fencing	Chain link fencing with privacy slats	R&M	Good/Fair
Refuse Area Fencing	CMU (concrete masonry unit) three wall enclosures	R&M	Good/Fair
Site/Building Lighting	Exterior building mounted lights	R&M	Good/Fair
Parking Area Lighting	Lights mounted on building	R&M	Good/Fair
Signage	Wall mounted letter signage	R&M	Good
Water Features	Not applicable	NA	Not applicable

Photographs



Eastern side of site at southern corner chain link fencing



Partially retaining site wall at northern end of site



Partially retaining site wall at northern end of site, area of recent sectional replacement



Partially retaining site wall at northern end of site



Chain link eastern perimeter fencing



Refuse container



Refuse container with no accessible pathway
(Critical Repair)



Ground level rear deck enclosed with chain linked fencing



Ground level rear deck enclosed with chain linked fencing



Facade with soffit venting



Connected building area stairwell cladding

3.2.7 RECREATIONAL FACILITIES

Both playground areas were observed with exposed bare ground and the absorptive surfacing was observed to be deficient requiring replacement. AEI recommends the replacement of the absorptive ground cover at both playgrounds. (Critical Repair)

Item	Description	Action	Condition
Barbecue	Multiple charcoal BBQ units throughout site	R&M	Good/Fair
Picnic Areas	One picnic area at rear of Leasing Office	R&M	Good
Playground	One children's playground area at rear of Leasing Office and southern children's playground area positioned between buildings 2519 and 2541	IM	Fair

Photographs



Playground at rear of Leasing Office



Rear of Leasing Office



Rear of Leasing Office



Southern playground



Southern playground

Other Structures

Item	Description	Action	Condition
Maintenance Garage Building	Wood framed Maintenance Garage with an overhead door and asphalt shingled roofing is located on the property. The maintenance and upkeep of this building is included in the costs associated with the general site.	IM	Good
Laundry Building	Wood framed Laundry Room with nat gas fired tankless water heater and dryers is located on the property. The building is finished with a metal panel roof, with the remaining materials constructed of materials and finishes similar to the apartment buildings. The maintenance and upkeep of this building is included in the costs associated with the general site.	R&M	Good
Leasing Office	Wood framed slab-on-grade, single-story Leasing Office structure is located on the Property. With the exception of the slab foundation, the structure is constructed of materials and finishes similar to the apartment buildings. The maintenance and upkeep of this building is included in the costs associated with the general site. Additionally the slab foundation at this structure is additionally discussed in the Foundation Section 3.3.1 below.	IM	Fair

Photographs



Leasing Office side



Leasing Office front



Leasing Office front with ADA parking space, non-van accessible (Critical Repair)



Maintenance garage



Laundry room with non-compliant access pathway from accessible space (Critical Repair)



Laundry room metal panel roofing

3.2.8 SITE UTILITIES

Utility Provider	Provider
Natural Gas	Nevada Energy
Electricity	Nevada Energy
Potable Water	Truckee Meadows Water Authority
Sanitary Sewerage	City of Reno
Storm Sewer	Municipal
Fuel Oil	Not Applicable

Photographs



Typical dwelling unit Nat Gas metering



Typical dwelling unit electric metering

Item	Description	Action	Condition
Domestic Water Supply Lines	Copper pipe	IM	Poor
Waste Service Lines	PVC and ABS waste piping	IM	Poor
Lift Stations	Not applicable	NA	Not applicable
Waste Water Treatment System	Not applicable	NA	Not applicable
Water Wells	Not applicable	NA	Not applicable
Emergency Generator	Not applicable	NA	Not applicable
Transformers	Utility-owned, pad-mounted electrical transformers	R&M	Good
Alternative Energy Systems	Not applicable	NA	Not applicable

3.3 STRUCTURAL FRAME & BUILDING ENVELOPE

3.3.1 FOUNDATION

Item	Description	Action	Condition
Foundation Type	Crawl Space with spread-footings	IM	Poor
Foundation Walls	Concrete stem walls and spread footings	IM	Poor
Building Slab	Raised wood floor	IM	Poor
Moisture Control	Landscaping sloped away from the foundation	R&M	Good
Uniformity	The foundation is considered to be generally uniform, but this could not be confirmed	IM	Poor

ASSESSMENT / RECOMMENDATION

Property Management indicated the facility has been experiencing movement of the apartment buildings, which are developed with a crawl space including perimeter continuous footing and interior cripple wall over continuous footings. The property was originally developed over a large layer of highly expansive clay. The buildings continue to move due to the shrink/swell properties of the soils. A structural analysis was performed by McElhaney Structural Engineers on the interior continuous footings at this site. The analysis revealed severe deficiencies in the

concrete footings. the footings have deteriorated to the point that the rebar is exposed and oxidizing. There is substantial movement in the floor joists causing settling and severe cracking in the drywall. Management provided the proposed structural analysis and plan to stabilize the interior continuous footings at each building. The analysis does not address any of the exterior perimeter footings. Settling is evident in the slump stone veneer at the front lower area of the buildings. Also attached is a preliminary November 24, 2020 cost estimate based on the structural plans. The price for the repair of the interior continuous footing only is \$42,383.09 per building, and \$1,059,577.25 for all twenty-five (25) apartment buildings. This work does not address the perimeter foundation area which is also experiencing similar degradation. The analysis and letter format SOW are appended to this report.

The Leasing Office building which was not included in the provided analysis is moving with significant cracking and uplift just inside the main entrance to the building. Additional evidence of movement was also observable in the displaced ceiling drywall board. The prescribed repair of this building would likely be different, due to the slab type foundation. Based on the observed and reported evidence of movement, AEI recommends further analyses of the building foundation system at the Leasing Office by a qualified Structural Engineer. (Critical Repair)

Photographs



Leasing Office side



Leasing Office front with ADA parking space, non-van accessible (Critical Repair)



Leasing Office Community Room evidence of movement



Leasing Office Community Room evidence of movement



Leasing Office entrance slab uplift and movement



Leasing Office entrance slab uplift and movement



Typical drywall damage from building settling



Typical drywall damage from building settling



Typical drywall damage from building settling

3.3.2 FRAMING

3.3.2.1 FRAMING SYSTEM, FLOORS & WALLS

Costs included are for correction of settlement cracking that was observed at walls and openings. Select areas of wood frame floors were observed with warping and buckling. Signs of water damage was observed several floor joists and roof framing.

Item	Description	Action	Condition
Wall Structure	Wood framing	IM	Poor
Secondary Framing Members	Not applicable	NA	Not applicable
Mezzanine	Not applicable	NA	Not applicable
Walls and Floors Plumb, Level and Stable	Signs of movement were apparent in the sloped areas at the floors of the buildings, identified issues with the building foundations are further discussed above in the Foundation Section 3.1.1	IM	Poor
Significant Signs of Deflection, Movement	Signs of movement were apparent in the sloped areas at the floors of the buildings, identified issues with the building foundations are further discussed above in the Foundation Section 3.1.1	IM	Poor

3.3.2.2 CRAWL SPACES, ENVELOPE PENETRATIONS

AEI made limited observations of the crawl spaces from the vent openings/basement access. From our limited viewpoint, no unusual or significant evidence of excessive moisture was observed. Ventilation of the crawl space is provided to allow air flow through exterior vents. Good ventilation helps to decrease moisture near wood framing helps to deter termite activity, mold, and degradation of insulation. No notable deficiencies or indications of deferred maintenance of foundations were observed or reported.

Photographs



Representative crawl space venting



Representative crawl space



Representative crawl space with perimeter stem wall insulation



Representative crawl space with wood floor joists and moisture barrier

3.3.2.3 ROOF FRAME & SHEATHING

Item	Description	Action	Condition
Roof Design	Pitched with attic space	R&M	Good
Roof Framing	Wood rafters	R&M	Good
Roof Deck or Sheathing	Plywood decking	R&M	Good
FRT Plywood	FRT plywood was not observed or reported to be present in the attic areas	R&M	Good
Significant Signs of Deflection, Movement	No unusual problems were observed or reported at the building roof areas, foundation movement is discussed in Section 3.1.1 above.	R&M	Good

Photographs



Leasing Office rear



Typical roof condition

3.3.2.4 FLASHING & MOISTURE PROTECTION

Roof flashing appeared to be in overall good to fair condition.

Photographs



Leasing Office side



Typical roof condition with flashing

3.3.2.5 ATTICS & EAVES

The attics are ventilated by a combination of ridge vents and perforated eave vents. The ridge vent is aluminum and covered with shingles to match the rest of the roofing.

Photographs



Facade with soffit venting



Facade with soffit venting



Apartment building end facade

3.3.2.6 INSULATION

The roofs are insulated with loose-fill fibers. The depth of the insulation was reported to be approximately 12-14-inches with a R value of approximately 30. Replacement of damaged and missing insulation and any insulation to be removed as a result of reconstruction work is included.

3.3.2.7 EXTERIOR STAIRS, RAILS, BALCONIES/PORCHES, CANOPIES

The upper floor unit access stairway at 1516 building was observed to be damaged with the vertical support at the bottom of the outer hand railing observed to be broken. Based on the observed condition AEI recommends the damaged hand railing be repaired. (Critical Repair)

The railing system at upper floor unit access stairways and landings were observed with excessive baluster opening widths. AEI recommends vertical slats or additional material be added to the existing railing and landing systems. (Critical Repair)

Item	Description	Action	Condition
Balcony Framing	Not applicable	NA	Not applicable

Item	Description	Action	Condition
Balcony Deck Material	Not applicable	NA	Not applicable
Balcony Railing	Not applicable	NA	Not applicable
Patio Construction	Wood framed patios with composite board decking and chain link enclosures at each ground level dwelling unit	RR	Good/Fair
Terraces	Not applicable	NA	Not applicable
Fire Escapes	Not Applicable	NA	Not applicable
Elevated Walkway	Not applicable	NA	Not applicable
Exterior Stairs	Steel frame stairs with pre-cast concrete treads and painted metal railing systems	IM/RR	Fair

Photographs



Upper floor unit access stairway at building end



Upper floor unit access stairway at building end



Upper floor unit access stairway at building connection



Upper floor unit access stairway at 1516 building damaged hand railing (Critical Repair)



Typical stairway landing



Typical onsite railing system



Typical onsite railing system with excessive bollard opening widths (Critical Repair)



Ground level rear deck enclosed with chain linked fencing



Ground level rear deck enclosed with chain linked fencing



Ground level rear deck enclosed with chain linked fencing

3.3.2.8 EXTERIOR DOORS & ENTRY SYSTEMS

Each dwelling unit was observed with two (2) entry doors and one (1) door to the mechanical room. The doors were observed, due to settlement issues, age and condition, the doors have failing seals and becoming inoperable. The dwelling unit interior doors was observed, due to settlement issues, age and condition, the doors are becoming inoperable and will not stay on track.

Item	Description	Action	Condition
Unit Entry Doors	Residential grade solid core wood doors	IM	Fair/Poor
Service Doors	Residential grade solid core wood doors	IM	Fair/Poor
Sliding Glass Doors	Not applicable	NA	Not applicable
Overhead Doors	Maintenance garage with automatic overhead door	RR	Good
Common Entrance Doors	Residential grade solid core metal clad doors	RR	Good/Fair

Photographs



Leasing Office main entrance



Dwelling unit and MEP room doors



Unit rear doors

3.3.3 SIDEWALL SYSTEM

The textured T1-11 wood siding was observed to be mostly original to the date of construction (1984). Replacement of approximately 75% of the textured wood siding and exterior trim is recommended based on observed damage and settlement issues.

Item	Description	Action	Condition
Primary Exterior Wall Finishes and Cladding	Painted wood (T1-11 siding) with lower unpainted masonry veneer	IM	Fair/Poor
Trim Finishes	Painted wood	IM	Fair/Poor
Soffits/Eaves	Exposed	IM	Fair/Poor
Sealants	Sealants are used at window and doors	IM	Fair/Poor
Painting	Last painting not known but estimated to have greater than ten (10) years ago	IM	Fair/Poor

Photographs



Typical exterior area



Typical exterior area



Typical exterior area



Upper floor unit access stairway at building end



Apartment building end facade

3.3.3.1 WINDOWS

Vinyl windows were observed; however, due to foundational shifting (settlement) issues the windows have failing seals and becoming inoperable. Replacement of the windows is recommended.

Item	Description	Action	Condition
Window Type	Single hung windows	IM	Fair/Poor
Window Frame	Vinyl	IM	Fair
Window Panes	Double pane insulated	IM	Fair/Poor

Photographs



Facade



Typical window unit



Typical window units

3.3.4 ROOFING FINISH

Roof ID	Construction Type	Approx. Area	Reported Age	RUL	Warranty	Action	Condition
All	Pitched with asphalt shingles	58,869 SF	19 years	6 years	No	RR	Good / Fair

Roof ID	Drainage	Coping (parapet)	Skylights	Action	Condition
All	Gutters and downspouts	Not applicable	Custom, domed skylights at select conjoined upper floor entries	RR	Good

Photographs



Typical roof condition



Typical roof condition



Typical roof condition



Typical roof condition



Typical roof condition



Typical roof condition



Typical roof skylight



Conjoined covered entry gutter and downspout

3.4 MECHANICAL & ELECTRICAL SYSTEMS

3.4.1 PLUMBING

The plumbing lines on-site were observed to be in poor condition with the site reporting multiple issues of leaks and backups. In a majority of the inspected units, water damage due to plumbing leaks were observed on the ceiling of kitchen directly below the unit bathrooms. In several of units, water was observed to be infiltrating the bathroom subfloors and damaging the floor joists. Replacement of the water and waste lines is recommended. The property features individual 40-gallon gas water heaters of various ages (approximately 75% are 2003 and 25% are 2013/14). With plumbing piping replacement being performed, replacement of water heaters is recommended. The bathroom fixtures were observed to be in poor condition. Due to plumbing piping replacement and potential leaks, replacement is recommended.

Item	Description	Action	Condition
Hot and Cold Water Distribution	Copper pipe	IM	Fair
Polybutylene Water Piping	No polybutylene piping was observed or reported.	NA	Not applicable
Sanitary Waste and Vent	PVC and ABS piping	IM	Fair
Domestic Water Circulation Pumps	Not applicable	NA	Not applicable
Domestic Water Heaters	Individual, gas-fired, 40-gallon tank-type water heaters	IM	Fair
Domestic Water Boilers	Not applicable	NA	Not applicable
Boiler Peripherals	Not applicable	NA	Not applicable
Water Softening / Treatment	Not applicable	NA	Not applicable

Photographs



Bld 1512-Unit 3-2x1 -MEP



Typical nat gas fired water heater and furnace



Water heater tagging



Typical nat gas fired water heater and furnace



Water heater tagging



Typical nat gas fired water heater and furnace



Water heater tagging

3.4.2 HVAC SYSTEMS

The units feature gas-fired furnaces for heat and outdoor condensing units with replacement on an as-needed basis. Select components were observed in various conditions (some appear to be in disrepair/not functioning properly). Replacement of the furnaces, condensers, thermostats and

select ductwork is recommended. The dwelling units feature bathroom exhaust fans that were reported to be original to the date of construction (1984) and in various operating conditions. Replacement of the fans and ducting is recommended.

Item	Description	Action	Condition
Cooling Equipment	Individual Split Systems with air-cooled condensing units	IM	Fair/Poor
Heating Equipment	Individual Gas Furnace (integral with Split system)	IM	Fair/Poor
Cooling Tower	Not applicable	NA	Not applicable
Terminal Units	Not applicable	NA	Not applicable
Refrigerant	R-22	IM	Fair
Tonnage of Cooling Equipment	(100) condenser units, each with a rated capacity of around 2-tons	IM	Fair/Poor
Distribution System	Ducted forced-air system	IM	Fair/Poor
Controls	Local Thermostat	IM	Fair/Poor
Supplemental Systems	Not applicable	NA	Not applicable
Corridor and Stair-tower Ventilation	Not applicable	NA	Not applicable
Toilet Room Ventilation	Direct vent bathroom fans	IM	Fair/Poor

Photographs



Exterior condensing unit



Exterior condensing units



Typical nat gas fired water heater and furnace



Exterior condensing units



Exterior condensing units

3.4.3 ELECTRICAL SYSTEM

Apartment units' circuit breaker panels and electrical devices require 3-year modernization. Select electrical devices were observed to be original to the date of construction and therefore, replacement in conjunction with the panel replacement is recommended. Based on observations during the inspection, select fixtures were broken, non-operational, missing. Replacement of lighting fixtures is recommended.

Item	Description	Action	Condition
Service Type	Underground lines to pad-mounted transformers	R&M	Good/Fair
Building Service	400-Amp, 120/240-Volt, three-phase, four-wire, alternating current (AC)	IM	Poor
Typical Tenant Service Amperage	125 Amp, 16-space breaker panel	IM	Poor
Panel Manufacturer	ITE electric panel	IM	Poor
Overload Protection	Circuit breaker switches	IM	Poor
Service Wire	Aluminum wiring observed	IM	Fair/Poor
Branch Wiring	Copper wiring observed	IM	Poor
Ground Fault Circuit Interrupter	Observed in kitchen, bathrooms, and wet areas	IM	Poor

Photographs



Typical dwelling unit meter bank



Typical dwelling unit ITE breaker panel



Typical dwelling unit meter bank



Bld 1512-Unit 3-2x1 -Breaker panel



Typical dwelling unit metered service 100-amp main breaker

ASSESSMENT / RECOMMENDATION

There are no elevators at the subject property.

3.5 LIFE & FIRE SAFETY

The dwelling units are heated via a gas fired furnace and heated water is provided via a gas fired water heater. The MEP for each dwelling unit is positioned in a common MEP room housing the equipment for two dwelling units in each. These rooms are within the apartment buildings and share a wall with the dwelling units. While NV state law required CO detection in new construction single family and duplex residences. As a best management practice AEI recommends the installation of CO detection be installed within the dwelling units. (Critical Repair)

Item	Description	Action	Condition
Fire Suppression Systems	Not applicable	NA	Not applicable
Fire Suppression System Inspection Date	Not Applicable	NA	Not applicable
Other Equipment and Devices	<p>Illuminated exit signs and battery back up light fixtures at leasing office.</p> <p>Each dwelling unit equipped with a main area hard-wired smoke detectors with battery back-up, each bedroom was observed with a battery operated smoke detector.</p> <p>CO detection was not identified (Critical Repair)</p>	IM	Poor
Fire Extinguishers	<p>Mounted on exterior wall of apartment buildings and interior of Leasing Office</p> <p>Last inspection completed in (5/22)</p>	R&M	Good
Fire Alarms	Not applicable	NA	Not applicable
Fire Alarm Inspection Date	Not applicable	NA	Not applicable
Fire Hydrants	There are fire hydrants located along the drive lanes	R&M	Good
Fire Egress Stairs	The buildings feature breezeway staircases	R&M	Good

Photographs



Bld 2541-Unit 1-2x1-UFAS -Bedroom



Bld 2541-Unit 1-2x1-UFAS -Bedroom



Typical dwelling unit hardwired smoke detection



Typical dwelling unit battery operated smoke detection



Typical fire extinguisher



Typical fire extinguisher

3.6 INTERIOR ELEMENTS

3.6.1 COMMON AREA INTERIOR ELEMENTS

Item	Description	Action	Condition
Common Area Kitchen	The Leasing Office is developed with a common area Kitchen with vinyl flooring, a stove and refrigerator. Finishes include vinyl floor tile and painted drywall walls and ceilings.	RR	Fair
Common Area Laundry	A stand alone laundry building is provided with leased laundry equipment, the room is with vinyl flooring and painted drywall walls and ceiling. The room is heated via a wall mounted gas fired heater and is not cooled. Heated water is provided via a nat gas tank-less water heated.	RR	Fair

Photographs



Leasing Office Community Room



Leasing Office Community Room



Leasing Office Community Room



Leasing Office Community Room Kitchen



Laundry Room dryers



Laundry Room washers

3.6.2 DWELLING UNIT INTERIOR ELEMENTS

The units VCT tile flooring was observed to be in poor condition with areas of missing and damaged tiles. Select areas of VCT tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new VCT tile is required.

The unit's ceramic tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new underlayment and ceramic tile is required.

The unit gypsum board (drywall) was observed to be in fair to poor condition. The drywall as observed areas of cracking and separating due to foundation issues. Replacement of the plumbing pipes warranted removal of select areas (approximately 90% in total) of drywall is needed.

With removal of approximately 90% of drywall, complete painting of the walls and ceilings in the dwelling units is needed as well as window and door trim.

Unit Finishes

Item	Description	Action	Condition
Carpet	Not applicable	NA	Not applicable
Resilient Flooring (vinyl)	Vinyl tile	IM	Fair/Poor
Other	Ceramic tile in bathrooms	IM	Fair/Poor
Walls	Gypsum board with painted finish	IM	Fair/Poor
Ceilings	Gypsum board with painted finish	IM	Fair/Poor
Window Coverings	Window blinds are provided	R&M	Good

Photographs



Bld 1512-Unit 3-2x1 -Kitchen



Bld 1512-Unit 3-2x1 -Kitchen



Bld 1512-Unit 3-2x1 -Living room



Bld 1512-Unit 3-2x1 -Bathroom

Appliances

Item	Description	Action	Condition
Refrigerators	Units vary in age and condition but are reaching the end of their EUL	IM	Fair
Ranges	Units vary in age and condition but are reaching the end of their EUL	IM	Fair
Range hoods	Recent replacment	IM	Fair
Dishwashers	Not provided		
Microwaves	Tenant responsibility		
Garbage Disposals	Garbage disposals are provided	IM	Fair
Dryers	Tenant responsibility		
Washers	Tenant responsibility		
Washer/Dryer Connection	Units are equipped with washer and dryer connections, with a small laundry room at the eastern end of 2535 Building served with leased equipment	IM	Fair

Photographs



Bld 2541-Unit 1-2x1-UFAS -Kitchen



Bld 2541-Unit 1-2x1-UFAS -Kitchen

Cabinets & Fixtures

Item	Description	Action	Condition
Kitchen Sink & Countertop	Plastic laminated particle board with double-basin ceramic sink, original units in use	IM	Fair/Poor
Bathroom Sink and Countertop	Vanity unit with resilient surfaced counter and integrated sink, original units in use	IM	Fair/Poor
Kitchen Cabinetry	Plywood frame and doors, original units in use	IM	Fair/Poor
Bathroom Cabinetry	Plywood frame and doors, original units in use	IM	Fair/Poor
Bathtub/Shower and Enclosure	Enamel over steel bathtub with ceramic tile tub surround, original units in use	IM	Fair/Poor
Toilet	Water saver toilet	IM	Fair
Accessories	Towel bars and wall mounted mirror	IM	Fair

Photographs



Bld 1512-Unit 3-2x1 -Kitchen



Bld 1512-Unit 3-2x1 -Kitchen



Bld 1512-Unit 3-2x1 -Bathroom



Bld 1512-Unit 3-2x1 -Bathroom

4.0 ADDITIONAL CONSIDERATIONS

4.1 MOISTURE AND MICROBIAL GROWTH

Microbial growth (e.g., mold or fungus) may occur when excess moisture is present. Porous building materials such as gypsum board, insulation in walls and ceilings, and carpeting retain moisture and become microbial growth sites if moisture sources are not controlled or mitigated. Potential sources of moisture include rainwater intrusion, groundwater intrusion, condensation on cold surfaces, and water leaks from building systems (e.g., plumbing leaks, HVAC system leaks, overflowing drains, etc.). Inadequate ventilation of clothes dryers and shower stalls may also result in excess moisture conditions. Microbial growth may be clearly visible (e.g., ceramic tile mortar in shower stalls) or may be concealed with no visible evidence of its existence (e.g., inside wall cavities). However, without proper tests, the existence of mold cannot be verified. Testing for mold is outside the scope of a baseline PNA.

AEI conducted a limited visual survey for the presence of microbial growth at the Property. Sampling or testing was not included in the scope of work for this survey. The assessment consisted of gaining entry to interior spaces, and visually evaluating the accessible areas.

Darrell L. Playford reported that he was not aware of suspected mold or microbial growth at the Property and that tenant occupants have not had complaints concerning suspected mold or microbial growth. Darrell L. Playford indicated that no formal indoor air quality management plan currently exists at the Property.

AEI identified no documents regarding indoor air quality or microbial concerns.

Darrell L. Playford was not aware of any roof leaks, water leaks or infiltration and associated damage from pipes, fixtures, or HVAC systems at the Property. No flood drains or ground water problems were reported.

ASSESSMENT / RECOMMENDATION

No repair or reserve funding is recommended at this time.

4.2 PEST MANAGEMENT

As part of the site and property assessment, AEI conducted limited, visual, non-intrusive observations to ascertain if there was evidence of wood destroying organism (WDO) activity on the physical structures at the Property during our site visit. Our WDO assessment process included visual observation of select interior and exterior building systems for noticeable signs of WDO activity, such as damaged or deteriorated wood, noticeable remnants of deceased WDO's (termites, beetles, ants, bees, etc.), and applying hand pressure (with a hard object tool) to reachable areas where these types of organisms generally attack to determine if there is any hidden damage to such surfaces (surfaces generally limited to trim work along baseboards and around windows).

Our WDO assessment process also included a limited visual and physical assessment of easily accessible and observable site conditions. The visual assessment included looking for noticeable signs of WDO activity on the Property, such as mud tubes on walls, round or oval holes, mounded soil around building perimeters, trace insect residue, and damaged wood. Our observations of exterior materials also include the application of hand pressure to reachable areas where these types of organisms generally attack, to determine if there is any hidden damage to such surfaces. This information is provided incidental to our standard PNA assessment. WDO observations, conducted by AEI, are not intended, and may not be interpreted as a professional pest inspection, and AEI makes no representation or warranty as to these activities or observations.

Our WDO assessment did not identify any unusual problems or concerns related to WDO activity on the property.

ASSESSMENT / RECOMMENDATION

No unusual problems or concerns with termites or wood destroying organisms were reported or observed.

No repair or reserve funding is recommended at this time.

4.3 SEISMIC ZONE

AEI reviewed the property location in order to determine whether or not the site is located in an area that may constitute a seismic hazard as determined by the ASCE/SEI Standard ASCE 41-13 "Seismic Evaluation and Retrofit of Existing Buildings. The determination employs output from design mapping with data provided from the US Geological Survey.

Per HUD MAP Guide (revised March 19, 2021), any detached or semi-detached structure where the calculated Design Earthquake Spectral Response Acceleration Parameter (S_{XS}) is less than .400g and any building where both Design Earthquake Spectral Response Acceleration Parameters (S_{XS} and S_{X1}) are less than .330g and .133g respectively, a detailed seismic hazard and building performance analysis is not required.

The values for S_{XS} and S_{X1} have been provided as output from a Design Maps Summary Report as derived from current USGS data.

A copy of the USGS data is included in the USGS Design Maps Appendix.

The value for S_{XS} was calculated at MORE than 0.330g.

The value for S_{X1} was calculated at MORE than 0.133g.

ASSESSMENT / RECOMMENDATION

A detailed seismic hazard and building performance analysis is required as defined in HUD MAP Guide.

4.4 WIND ZONE

AEI reviewed the property location in order to determine the wind zone in which the property is located. The Design Wind Speed measuring criteria are consistent with ASCE 7-05. Our judgement is that the property is located in Wind Zone IV. This map also indicates that the Property is also located in a Special Wind Region.

Wind Zones are defined as follows:

Zone I (130 MPH)

Zone II (160 MPH)

Zone III (200 MPH)

Zone IV (250 MPH)

Special Wind Zone

Hurricane Susceptible Zone

4.5 FLOOD PLAIN

AEI reviewed FEMA flood zone maps to identify the flood zone in which the property is located. According to Panel No. 32031C3045G, dated 03/16/2009, this property is located within Flood Zone X (Non-shaded).

Flood Zones are described as follows:

Flood Zone A, defined as an area of 100-year flood; base flood elevations and flood hazard factors not determined.

Flood Zone AE, defined as an area of 100-year flood; base flood elevation determined.

Flood Zone B, defined as an area between limits of the 100-year flood and 500-year flood; an area subject to 100-year flooding with average depths less than one foot or where the contributing drainage area is less than one square mile; or an area protected by levees from the base flood.

Flood Zone C, defined as an area of minimal flooding.

Flood Zone D, defined as an area of undetermined, but possible flood hazards.

Flood Zone V, defined as an area of 100-year flood with velocity (wave action); base flood elevations and flood hazard factors not determined.

Flood Zone X (shaded area), defined as an area of 500-year flood; an area of 100-year flood with average depths of less than one foot or with drainage areas less than one square mile; or an area protected by levees from 100-year flood.

Flood Zone X (non-shaded area), defined as an area outside the 500-year flood plain.

This information is provided for reference purposes only. Further Study may be undertaken at the discretion of our client.

4.6 KNOWN PROBLEMATIC BUILDING MATERIALS

The following list of Known Problematic Building Materials has been developed by Fannie Mae and is typically referenced in CNA reports as a general summary of systems or organisms that have been part of a manufacturer recalled or have been specifically identified as problematic. If these items are identified through reports or observation, the topic will be further discussed in the report sections listed in the following table:

Red Flag Material or System	Identified	Action Recommended
Fire Retardant Treated Plywood (FRTP)	No	Not applicable
Compressed Wood or Composite Board Siding	No	Not applicable
Exterior Insulation and Finishing (EIFS)	No	Not applicable
Problem Drywall (aka "Chinese Drywall")	No	Not applicable
Unit electrical capacity less than 60 amps	No	Not applicable
Electrical Overload Protection - Fused Subpanels	No	Not applicable
Federal Pacific Electric Stab-Lok panels	No	Not applicable
Polybutylene Water Distribution Lines	No	Not applicable
Galvanized Steel Water Distribution Lines	No	Not applicable
Recalled fire sprinkler heads (Central, Omega, Gem, Star)	No	Not applicable
Recalled Cadet Brand Electric in-Wall Heaters	No	Not applicable
Recalled General Electric / Hotpoint dishwashers	No	Not applicable
Microbial Growth	No	Not applicable
Wood Destroying Organisms	No	Not applicable

5.0 DOCUMENT REVIEW & INTERVIEWS

5.1 DOCUMENTS REVIEWED

Document	Source / Author	Date
Pre-Survey Questionnaire	Client / Property Management	May 2022
Construction Drawings	Not Provided	
ALTA Survey	Not Provided	
Historical Capital Schedule	Client / Property Management	May 2022
Rent Roll	Client / Property Management	May 2022

5.2 INTERVIEWS

Contact Name	Contact Title	Contact Phone	Information Source Provided
Darrell L. Playford	Property Management Representative	(775) 329-3630 ext. 212	Provided interview and conducted the site visit

5.3 BUILDING CODE COMPLIANCE

AEI requested a record of open violations on file for the Property from the City of Reno Building Department. No open violations were reported for the Property at the time of the assessment.

5.4 FIRE CODE COMPLIANCE

AEI requested a record of open violations on file for the Property from the City of Reno Fire Department. No open violations were reported for the Property at the time of the assessment.

5.5 ZONING COMPLIANCE

The property is zoned (MF30) MULTI-FAMILY (30 UNITS PER ACRE) and based on online research the property is a legal conforming use.

5.6 HUD REAL ESTATE ASSESSMENT CENTER (REAC) INSPECTION

AEI was not provided with an appended incomplete REAC inspection was provided dating from May 2017 which indicated an overall Final Score of 99b.

6.0 ACCESSIBILITY & INTRUSIVE EXAMINATIONS

6.1 ACCESSIBILITY

Determination of ADA, UFAS, FHA Applicability

Application	Yes/No	Definition
Age: Was this property constructed after July 1992? (ADAAG Question)	No	Under Title III of the ADA, all "new construction" (construction, modification, or alterations) after the effective date of the ADA (approx. July 1992) must be fully compliant with the ADAAG.
Use: Does the property feature areas of public accommodation? (ADAAG Question)	Yes, leasing office	A public accommodation is a private entity that owns, operates, leases, or leases to a place of public accommodation. Places of public accommodation include restaurants, hotels, theaters, doctor's offices, pharmacies, retail stores, museums, libraries, parks, private schools, and day care centers, and entities that offer certain examinations and courses related to educational or occupational certification.
Use: Is the property classified as a historic structure? (ADAAG Question)	No	Properties listed or are eligible for listing in the National Register of Historic Places or properties designated as historic under state or local law should comply to the "maximum extent feasible" unless the changes would destroy the historic significance of a feature of the building.
Use: Is the property classified as a private club or religious structure? (ADAAG Question)	No	Properties classified as such are exempt from complying with the ADAAG.
Use: Does the property plan a significant renovation that is at least 20% of the value of the building? (If so, the renovation budget should include upgrades to correct all ADA issues). (ADAAG Question)	No	Alterations include, but are not limited to, remodeling, renovation, rehabilitation, reconstruction, historic restoration, changes or rearrangement in structural parts or elements, and changes or rearrangement in the plan configuration of walls and full-height partitions. Normal maintenance, reroofing, painting or wallpapering, asbestos removal, or changes to mechanical and electrical systems are not alterations unless they affect the usability of the building or facility.
Use: Does the property feature federal financial assistance? (UFAS Question)	Yes	Section 504 of the Rehabilitation Act of 1973 states: No otherwise qualified individual with a disability in the United States. . .shall, solely by reason of her or his disability, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program, service or activity receiving federal financial assistance or under any program or activity conducted by any Executive agency or by the United States Postal Service. (29 U.S.C. 794). This

Application	Yes/No	Definition
		means that Section 504 prohibits discrimination on the basis of disability in any program or activity that receives financial assistance from any federal agency, including the U.S. Department of Housing and Urban Development (HUD) as well as in programs conducted by federal agencies including HUD.
Age: Was this property constructed prior to July 11, 1988? (UFAS Question)	Yes	While UFAS is still applicable for all project based properties; HUD has allowed for load bearing wall, financial, and administrative burden exceptions to retroactively achieving UFAS compliance.
Age: Was this property constructed after March 13, 1991? (FHA Question)	No	Multi-family properties constructed after March 13, 1991 should be in compliance with the Fair Housing Act Accessibility Guidelines. There are select exceptions.
Age: Was this property provided original building permits after June 15, 1990? (FHA Question)	No	Buildings where the last building permit was issued on or before June 15, 1990 are not covered by the design and construction requirements. Even if the last building permit was issued after June 15, 1990, if the property was occupied before March 13, 1991, it is not covered. HUD adopted these dates to allow time for the requirements to be considered during the design and construction phase of new properties.

Abbreviated Screening Checklist for ADAAG Compliance

	Building History	Yes	No	N/A	Comments
1.	Has an ADA survey previously been completed on the property?		✓		No previous ADA Survey for the property was provided or reported.
2.	Have any ADA improvements been made to the property?		✓		
3.	Does a Transition Plan / Barrier Removal Plan exist for the property?		✓		
4.	Has building ownership or management received any ADA-related complaints that have not been resolved?		✓		
5.	Is any litigation pending related to ADA issues?		✓		
Parking					
1.	Are there sufficient accessible parking spaces with respect to the total number of reported spaces?	✓			100 total spaces Seven (7) designated accessible spaces
2.	Are there sufficient van-accessible parking spaces available (96" wide aisle for van)?	✓			Leasing Office Van accessible space provided
3.	Are accessible spaces marked with the International Symbol of Accessibility? Are there signs reading "Van Accessible" at van spaces?		✓		Leasing Office Van accessible space not provided with van specific signage (Critical Repair)

Building History		Yes	No	N/A	Comments
4.	Is there at least one accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?	✓			
5.	Do curbs on the accessible route have depressed, ramped curb cuts at drives, paths, and drop-offs?	✓			
6.	If required does signage exist directing you to accessible parking and an accessible building entrance?			✓	
Ramps					
1.	Do all ramps along accessible path of travel appear to meet slope requirements? (1:12 or less) Please note shorter ramps can be more steep than 1:12 if rise is less than 6-inches.			✓	
2.	Are ramps that appear longer than 6 ft complete with railings on both sides?			✓	
3.	Does the width between railings appear to be at least 36 inches?			✓	
4.	Are the cross slopes less steep than 1:48?			✓	
5.	Do the ramp runs rise no more than 30-inches?			✓	
6.	Are there level landings at the bottom and top of the ramp runs?			✓	
Entrances/Exits					
1.	Do all required accessible entrance doorways appear at least 32 inches wide and not a revolving door?	✓			
2.	If the main entrance is inaccessible, are there alternate accessible entrances?			✓	
3.	Is the door hardware easy to operate (lever/push type hardware, no twisting required and not higher than approximately 48 inches above the floor)?	✓			
Paths of Travel					
1.	Are all paths of travel free of obstruction and wide enough for a wheelchair (appear at least 36 inches wide)?	✓			
2.	Are wheelchair-accessible facilities (toilet rooms, exits, etc.) identified with signage?	✓			
3.	Is there a path of travel that does not require the use of stairs?	✓			

	Building History	Yes	No	N/A	Comments
Elevators					
1.	Do the call buttons have visual and audible signals to indicate when a call is registered and answered when car arrives?			✓	
2.	Are there visual and audible signals inside cars indicating floor change?			✓	
3.	Are there standard raised and Braille marking on both jambs of each hoist way entrance as well as all cab/call buttons?			✓	
4.	Do elevator doors have a reopening device that will stop and reopen a car door if an object or a person obstructs the door?			✓	
5.	Are elevator controls low enough to be reached from a wheelchair (appears to be between 15 and 48 inches)?			✓	
6.	If a two-way emergency communication system is provided within the elevator cab, is it usable without voice communication?			✓	
Toilet Rooms					
1.	Are common area public restrooms located on an accessible route?	✓			
2.	Are pull handles push/pull or lever type?	✓			Lever
3.	Are toilet room access doors wheelchair-accessible (appear to be at least 32 inches wide)?	✓			
4.	Are public restrooms large enough to accommodate a wheelchair turnaround (appear to have 60"• turning diameter)?	✓			
5.	Are toilet stall doors wheelchair accessible (appear to be at least 32"• wide)?	✓			
6.	Are grab bars provided in toilet stalls?	✓			
7.	Are sinks provided with clearance for a wheelchair to roll under?	✓			
8.	Are sink handles operable with one hand without grasping, pinching or twisting?	✓			
9.	Are exposed pipes under sink sufficiently insulated against contact?	✓			Under counter pipes are insulated
Pools					
1.	Are public access pools provided? If the answer is no, please disregard this section.			✓	
2.	How many accessible access points are provided to each pool/spa? Provide number in comment field.			✓	

Abbreviated Screening Checklist for UFAS Compliance

Building History		Yes	No	N/A	Comments
Common Area Paths of Travel					
1.	Are all paths of travel free of obstruction and wide enough for a wheelchair?	✓			
2.	Do the common laundry rooms have a front controlled washing machine?	✓			
3.	Is there a path of travel that does not require the use of stairs to get to all common areas?		✓		<p>The route to the common area Laundry, Leasing Office buildings and Leasing Office Playground from the onsite UFAS qualifying dwelling units was not accessible due, to the site slope requiring steps and lack of curb depressions needed to navigate them. (Critical Repair)</p> <p>The refuse enclosures were observed to be without a compliant accessible pathway from the UFAS dwelling units. (Critical Repair)</p> <p>Each of the UFAS qualifying dwelling units is equipped with an accessible parking space. The spaces were observed with a non-compliant access ramp to the adjacent flatwork site pathway to the dwelling unit. (Critical Repair)</p> <p>The laundry building is equipped with an accessible parking space which was observed to have a curb cut but with a non-compliant pathway from the space to the curb cut. (Critical Repair)</p>
Play Area					
1.	Are the common area playgrounds accessible by wheelchair?	✓			
Designated Handicapped Dwelling Units					
1.	Do the unit entrance doors as well as the bathroom and bedroom doors feature 32" clear openings and low entrance thresholds for wheelchair access?	✓			<p>UFAS qualifying dwelling units: 1504/1, 1544/3, 1548/1, 2519/3 and 2541/1</p> <p>Dwelling Units with audio/visual smoke alarms were not identified. (Critical Repair)</p>
2.	Do all accessible doors have adequate space provided at latch side of door (see UFAS Figure 25)?	✓			
3.	Are exterior balconies/decks <1/2" below interior floor level?			✓	
4.	Are all switches, controls and outlets located at between 15" and 54" above floor	✓			

	Building History	Yes	No	N/A	Comments
5.	Accessible Kitchens: Is a 30x48 clear space provided at range/cooktop as well as front controls?	✓			
6.	Accessible Kitchens: Is 40" clearance provided between counters, cabinets, walls, or appliances and opposing item. Is a 60" turning radius available in U-shaped kitchens if sink or range/cooktop is located at base of U? Are the sinks roll-under for a 30"x48" forward approach?	✓			
7.	Accessible Kitchens: Are the countertops and sinks lowered from 36" to approximately 34"?	✓	✓		UFAS qualifying dwelling units: 1504/1, 1544/3, 1548/1, 2519/3 and 2541/1 were observed with lowered kitchen counters. Leasing office community kitchen non-accessible kitchen. (Critical Repair)
8.	Accessible Bathrooms: Do the bathrooms feature adequate clear floor space to each of the fixtures?		✓		The bathrooms in the UFAS dwelling units were observed with inadequate clear floor space at the toilet and sink.
9.	Accessible Bathrooms: Do the bathrooms feature accessible accessories (levered hardware, shower hoses, shower chairs or benches, lowered mirrors etc)?	✓	✓		The bathrooms in the UFAS dwelling units were observed with inadequate clear floor space at the toilet and sink. (Critical Repair) The roll-under kitchen and bathroom sinks located in the UFAS were observed without or with partial scald and abrasion protection. (Critical Repair)

Abbreviated Screening Checklist for FHA Compliance

	Building History	Yes	No	N/A	Comments
Fair Housing Act Accessibility Review					
1.	Requirement 1. Are there accessible building entrances on an accessible route? All covered multifamily dwellings must have at least one accessible building entrance on an accessible route unless it is impractical to do so because of the terrain or unusual characteristics of the site.			✓	
2.	Requirement 2. Are the public and common use areas accessible? Covered housing must have accessible and usable public and common-use areas. Public and common-use areas cover all parts of the housing outside individual units. They include -- for example -- building-wide fire alarms, parking lots, storage areas, indoor and			✓	

	Building History	Yes	No	N/A	Comments
	outdoor recreational areas, lobbies, mailrooms and mailboxes, and laundry areas.				
3.	Requirement 3. Are the doors "Usable" (usable by a person in a wheelchair)? All doors that allow passage into and within all premises must be wide enough to allow passage by persons using wheelchairs (32-inch nominal clearance).			✓	
4.	Requirement 4. Is there an accessible route into and through the dwelling unit? There must be an accessible route into and through each covered unit.			✓	
5.	Requirement 5. Are the light switches, electrical outlets, thermostats and other environmental controls in accessible locations? Light switches, electrical outlets, thermostats and other environmental controls must be in accessible locations.			✓	
6.	Requirement 6. Are there reinforced walls in bathrooms for later installation of grab bars? Reinforcements in bathroom walls must be installed, so that grab bars can be added when needed. The law does not require installation of grab bars in bathrooms.			✓	
7.	Requirement 7. Are the kitchens and bathrooms "Usable"? Kitchens and bathrooms must be usable - that is, designed and constructed so an individual in a wheelchair can maneuver in the space provided.			✓	

RECOMMENDATIONS

ADAAG Concerns:

- The Leasing Office was observed with a van complaint parking space which was missing the van specific signage. AEI recommends the instillation of van specific signage at one of the two Leasing Office accessible parking spaces. (Critical Repair)
- The designated handicapped parking space near the Leasing Office was missing van specific signage. The instillation of van specific signage at van accessible spaces is required. (Critical Repair)

- The Leasing Office accessible uni-sex restroom was observed with an elevated mirror, the lowering of the mirror to a compliant 40-inches at bottom is required. (Critical Repair)
- Two ramps on the northern side of the facility at the entrance pathways were observed with a single hand railing. Complaint hand railings should be provided on both sides of the ramps. (Critical Repair)

UFAS/State Code Concerns:

UFAS applies, the property is developed with UFAS qualifying dwelling units: 1504/1, 1544/3, 1548/1, 2519/3 and 2541/1 and the following concerns were noted:

- The property was originally constructed in 1962 and 1963 and features project-based assistance. The apartments are therefore subject to the requirements of Section 504 of the Rehabilitation Act of 1973, which states that 2% or two (2) non-designated handicapped dwelling units are required to have audio/visual smoke alarms. In order to comply with UFAS, the installation of audio/visual smoke alarms in two (2) non-designated handicapped dwelling units is required. (Critical Repair)
- The bathrooms in the UFAS dwelling units were observed with inadequate clear floor space at the toilet and sink. In order to comply with the UFAS, reconfiguring the restrooms in UFAS compliant dwelling units will be required. (Critical Repair)
- The route to the common area Laundry, Leasing Office buildings and Leasing Office Playground from the onsite UFAS qualifying dwelling units was not accessible due, to the site slope requiring steps and lack of curb depressions needed to navigate them. AEI recommends further analysis by an architect to provide compliant site pathways to all onsite amenities from the five (5) UFAS qualifying dwelling units. (Critical Repair)
- The UFAS dedicated dwelling unit kitchens were observed without cabinet and drawer handles/pulls. In order to comply with Uniform Federal Accessibility Standards (UFAS), the installation of compliant cabinet and drawer handles/pulls is required. (Critical Repair)
- The refuse enclosures were observed to be without a compliant accessible pathway from the UFAS dwelling units. To comply with UFAS AEI recommends the instillation of a complaint pathway from the UFAS dwelling units to refuse enclosures. (Critical Repair)
- Leasing office community kitchen was observed without compliant accessible modifications. The entrance door was measured with 28-inches of clear space, the kitchen was not equipped with a lowered or roll-under counter at the sink, a complaint workspace or front controlled range. AEI recommends the facility remodel the community kitchen to comply with Uniform Federal Accessibility Standards (UFAS). (Critical Repair)
- Each of the UFAS qualifying dwelling units is equipped with an accessible parking space. The spaces were observed with a non-compliant access ramp to the adjacent flatwork site pathway to the dwelling unit. AEI recommends the instillation of a compliant curb cut at each accessible space provided at each UFAS qualifying dwelling unit. (Critical Repair)

- The laundry building is equipped with an accessible parking space which was observed to have a curb cut but with a non-compliant pathway from the space to the curb cut. AEI recommends moving the accessible space and signage, so the pathway lines up with the provided curb cut. (Critical Repair)

Photographs



Bld 2541-Unit 1-2x1-UFAS -Bathroom



Bld 2541-Unit 1-2x1-UFAS -Bathroom



Bld 2541-Unit 1-2x1-UFAS -Bathroom



Bld 2541-Unit 1-2x1-UFAS -Bathroom
inadequate clear space at sink (Critical Repair)



Bld 2541-Unit 1-2x1-UFAS -Bathroom inadequate clear space at toilet (Critical Repair)



Bld 2541-Unit 1-2x1-UFAS -Bathroom inadequate clear space at toilet (Critical Repair)



Leasing Office front with ADA parking space, non-van accessible (Critical Repair)



Leasing Office Community Room Kitchen



Leasing Office Community Room Kitchen non accessible kitchen sink



Leasing Office Community Room Kitchen non accessible kitchen range



Playground at rear of Leasing Office



Rear of Leasing Office accessible access



Southern playground



Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



Typical flatwork termination at drive intersection



Typical flatwork termination at drive intersection



Laundry room with non-compliant access pathway from accessible space (Critical Repair)



Laundry Room washers

6.2 INTRUSIVE EXAMINATIONS

6.2.1 SEWER INSPECTION

No sewer inspections were performed as part of this investigation.

6.2.2 ELECTRICAL INSPECTION

No electrical inspections were performed as part of this investigation.

6.3 OWNER PROPOSED IMPROVEMENTS

There are no additional owner proposed improvements.

7.0 ASSESSOR QUALIFICATIONS

I understand that my Physical Needs Assessment will be used by Housing Authority of the City of Reno to document to the U.S. Department of Housing and Urban Development the condition of the property. I certify that my review was in accordance with the HUD requirements applicable on the date of my review and that I have no financial interest or family relationship with the officers, directors, stockholders, or partners of the Borrower, the general contractor, any subcontractors, the buyer or seller of the proposed property or engage in any business that might present a conflict of interest.

I have no other side deals, agreements, or financial considerations with the PHA or others in connection with this transaction.

I hereby certify under penalty of perjury that all of the information I have provided on this form and in any accompanying documentation is true and accurate. I acknowledge that if I knowingly have made any false, fictitious, or fraudulent statement, representation, or certification on this form or on any accompanying documents, I may be subject to criminal, civil, and/or administrative sanctions, including fines, penalties, and/or imprisonment under applicable federal law, including but not limited to 12 U.S.C. § 1833a; 18 U.S.C. §§1001, 1006, 1010, 1012, and 1014; 12 U.S.C. §1708 and 1735f-14; and 31 U.S.C. §§3729 and 3802.

The site inspection was completed on May 18, 2022

A resume of the property evaluator and the senior reviewers are included in the appendix of this report.



Scott Moyer, Assessment Project Manager



Jeb Bonnett, Vice President - HUD Building Assessments



David Taylor, Accessibility Manager



Roy Anderson PE, Vice President

Warning: Title 18 U.S.C. 1001, provides in part that whoever knowingly and willfully makes or uses a document containing any false, fictitious, or fraudulent statement or entry, in any manner in the jurisdiction of any department or agency of the United States, shall be fined not more than \$10,000 or imprisoned for not more than five years or both.

8.0 LIMITING CONDITIONS

Physical Needs Assessments performed by AEI Consultants are based upon, but not limited to, the scope of work outlined by ASTM Standard E2018-15. Our review of the subject property consisted of a visual inspection of the site, the structure(s) and the interior spaces. Technical Assessments were made based on the appearance of the improvements at the time of this Assessment. No destructive or invasive testing was included in the scope of this review.

The recommendations and conclusions presented as a result of this Assessment apply strictly to the time the Assessment was performed. Available documentation has been analyzed using currently accepted Assessment techniques and AEI believes that the inferences made are reasonably representative of the property.

No warranty is expressed or implied, except that the services rendered have been performed in accordance with generally accepted Assessment practices applicable at the time and location of the study.

This report should not be construed as technically exhaustive. This report does not warranty or guarantee compliance with any Federal, state or local statute, ordinance or regulation including but not limited to, building codes, safety codes, environmental regulations, health codes or zoning ordinances or compliance with trade/design standards or the standards developed by the insurance industry. Local, state and federal regulations, and codes change significantly over time from when the subject property was developed and the subject building was constructed. The subject property and subject building may not meet all current regulations, and code requirements put forth on a local, state, or federal level.

AEI Consultants has made reasonable efforts to properly assess the property conditions within the contracted scope of services; however, limitations during the assessment may be encountered.

AEI Consultants' findings and conclusions were based primarily on the visual assessment of the property at the time the site visit. In addition, the assessment value is based upon comparative judgments with similar properties in the property observer's experience. The Client is herewith advised that the conditions observed by AEI are subject to change. AEI's property observations included areas that were readily accessible without opening or dismantling secure areas or components. AEI's conclusions did not include any destructive or invasive testing, laboratory analysis, exploratory probing or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations.

No assessment can wholly eliminate the uncertainty regarding the presence of physical deficiencies and performances of the building system. According to the ASTM guidelines, a property condition assessment is intended to reduce the risk regarding potential building system and component failure. The ASTM standard recognizes the inherent subjective nature of the assessment regarding such issues as workmanship, quality of care during installation, maintenance of building systems and remaining useful of the building system or components.

Assessments, analysis and opinions expressed within this report are not representations regarding either the design integrity or the structural soundness of the project.

No destructive or invasive testing was included in the scope of this Assessment. Significant limitations to AEI's standard site assessment protocol were not encountered.

APPENDIX A

Street Map and Aerial Photo



Leaflet | Powered by Esri | Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc., NGA, USGS



STREET MAP

1548 Steelwood Lane, Reno, Nevada 89512
AEI Project Number: 459086





LEGEND
— Approximate Property Boundary

30 m
100 ft

Leaflet | Powered by Esri | Maxar, Microsoft



AERIAL PHOTO

1548 Steelwood Lane, Reno, Nevada 89512
AEI Project Number: 459086



APPENDIX B

Dwelling Unit Photo Documentation



1. Bld 1512-Unit 3-2x1 -Kitchen



2. Bld 1512-Unit 3-2x1 -Kitchen



3. Bld 1512-Unit 3-2x1 -Living room



4. Bld 1512-Unit 3-2x1 -Living room



5. Bld 1512-Unit 3-2x1 -Bedroom



6. Bld 1512-Unit 3-2x1 -Bedroom



7. Bld 1512-Unit 3-2x1 -Bedroom hardwired smoke detection



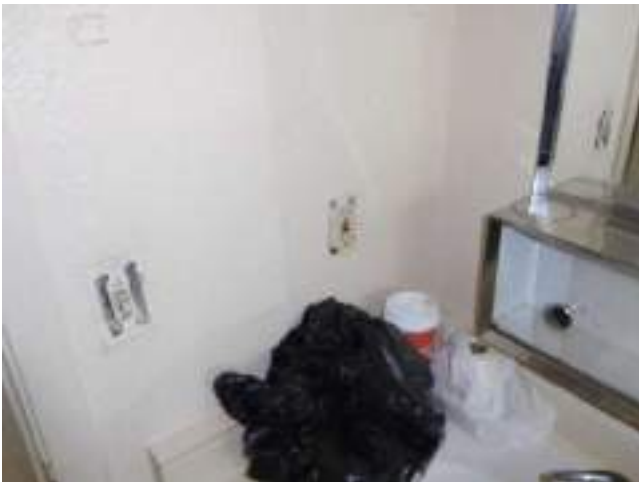
8. Bld 1512-Unit 3-2x1 -Bedroom



9. Bld 1512-Unit 3-2x1 -Bedroom



10. Bld 1512-Unit 3-2x1 -Hall with breaker panel and thermostat



11. Bld 1512-Unit 3-2x1 -Bathroom GFCI



12. Bld 1512-Unit 3-2x1 -Bathroom



13. Bld 1512-Unit 3-2x1 -Bathroom



14. Bld 1512-Unit 3-2x1 -MEP



15. Bld 1512-Unit 3-2x1 -Breaker panel



16. Bld 2541-Unit 1-2x1-UFAS -Entry at storm door



17. Bld 2541-Unit 1-2x1-UFAS -Entry at main door



18. Bld 2541-Unit 1-2x1-UFAS -Typical wall switch and thermostat height



19. Bld 2541-Unit 1-2x1-UFAS -Typical wall switch height



20. Bld 2541-Unit 1-2x1-UFAS -Bathroom



21. Bld 2541-Unit 1-2x1-UFAS -Bathroom



22. Bld 2541-Unit 1-2x1-UFAS -Bathroom



23. Bld 2541-Unit 1-2x1-UFAS -Bathroom



24. Bld 2541-Unit 1-2x1-UFAS -Bathroom



25. Bld 2541-Unit 1-2x1-UFAS -Bathroom
inadequate clear space at sink (Critical Repair)



26. Bld 2541-Unit 1-2x1-UFAS -Bathroom
inadequate clear space at toilet (Critical Repair)



27. Bld 2541-Unit 1-2x1-UFAS -Bathroom
inadequate clear space at toilet (Critical Repair)



28. Bld 2541-Unit 1-2x1-UFAS -Bathroom



29. Bld 2541-Unit 1-2x1-UFAS -Bathroom



30. Bld 2541-Unit 1-2x1-UFAS -Bathroom



31. Bld 2541-Unit 1-2x1-UFAS -Bathroom



32. Bld 2541-Unit 1-2x1-UFAS -Bathroom



33. Bld 2541-Unit 1-2x1-UFAS -Bedroom



34. Bld 2541-Unit 1-2x1-UFAS -Bedroom



35. Bld 2541-Unit 1-2x1-UFAS -Bedroom



36. Bld 2541-Unit 1-2x1-UFAS -Bedroom



37. Bld 2541-Unit 1-2x1-UFAS -Bedroom



38. Bld 2541-Unit 1-2x1-UFAS -Bedroom



39. Bld 2541-Unit 1-2x1-UFAS -Bedroom



40. Bld 2541-Unit 1-2x1-UFAS -Bedroom



41. Bld 2541-Unit 1-2x1-UFAS -Bedroom



42. Bld 2541-Unit 1-2x1-UFAS -Bedroom



43. Bld 2541-Unit 1-2x1-UFAS -Bedroom



44. Bld 2541-Unit 1-2x1-UFAS -Kitchen entrance



45. Bld 2541-Unit 1-2x1-UFAS -Kitchen



46. Bld 2541-Unit 1-2x1-UFAS -Kitchen



47. Bld 2541-Unit 1-2x1-UFAS -Kitchen



48. Bld 2541-Unit 1-2x1-UFAS -Kitchen



49. Bld 2541-Unit 1-2x1-UFAS -Kitchen



50. Bld 2541-Unit 1-2x1-UFAS -Kitchen



51. Bld 2541-Unit 1-2x1-UFAS -Kitchen



52. Bld 2541-Unit 1-2x1-UFAS -Kitchen



53. Bld 2541-Unit 1-2x1-UFAS -Kitchen missing cabinet and drawer handles/pulls (Critical Repair)



54. Bld 2541-Unit 1-2x1-UFAS -Kitchen partial scald and abrasion protection (Critical Repair)

APPENDIX C

General Photo Documentation



1. Southern facility entrance and signage



2. Northern facility entrance and signage



3. Northern end of site



4. Northern end of site



5. Eastern side of site



6. Eastern side of site at southern corner



7. Southern side of site



8. Western side of site northern end



9. Western side of site southern end



10. Typical exterior area



11. Typical exterior area



12. Typical exterior area at laundry building



13. Typical exterior area



14. Typical exterior area



15. Typical exterior area



16. Typical exterior area



17. Typical exterior area



18. Typical exterior area



19. Typical exterior area



20. Typical exterior area



21. Leasing Office rear



22. Leasing Office side



23. Leasing Office front



24. Leasing Office front with ADA parking space, non-van accessible (Critical Repair)



25. Leasing Office main entrance



26. Leasing Office main entrance



27. Leasing Office main entrance



28. Leasing Office main entrance



29. Leasing Office Community Room lighting controls



30. Leasing Office Community Room



31. Leasing Office Community Room



32. Leasing Office Community Room



33. Leasing Office Community Room Kitchen



34. Leasing Office Community Room Kitchen non accessible kitchen sink



35. Leasing Office Community Room Kitchen non accessible kitchen sink



36. Leasing Office Community Room Kitchen kitchen sink



37. Leasing Office Community Room Kitchen non accessible kitchen range



38. Leasing Office Community Room Kitchen upper cabinets



39. Leasing Office Community Room office entrance



40. Leasing Office Community Room office



41. Leasing Office Community Room bathroom entrance



42. Leasing Office Community Room bathroom entrance



43. Leasing Office Community Room bathroom



44. Leasing Office Community Room bathroom



45. Leasing Office Community Room bathroom



46. Leasing Office Community Room bathroom



47. Leasing Office Community Room bathroom



48. Leasing Office Community Room bathroom



49. Leasing Office Community Room bathroom



50. Leasing Office Community Room bathroom



51. Leasing Office Community Room bathroom



52. Leasing Office Community Room bathroom light switch



53. Leasing Office Community Room bathroom GFIC



54. Leasing Office Community Room evidence of movement



55. Leasing Office Community Room evidence of movement



56. Leasing Office entrance slab uplift and movement



57. Leasing Office entrance slab uplift and movement



58. Typical flatwork pathway



59. Playground at rear of Leasing Office



60. Rear of Leasing Office accessible access



61. Rear of Leasing Office



62. Rear of Leasing Office



63. Southern playground



64. Southern playground



65. Western drive lane



66. Typical asphalt paving



67. Typical asphalt paving



68. Typical asphalt paving



69. Typical asphalt paving



70. Typical asphalt paving



71. Typical asphalt paving



72. Typical asphalt paving



73. Typical asphalt paving



74. Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



75. Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



76. Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



77. Typical ADA parking space at UFAS dwelling unit excessive slope and cross slope at access ramp (Critical Repair)



78. Area of bare ground at rear of maintenance garage (Non-Critical Repair)



79. Flatwork site access northern end of site



80. Typical flatwork termination at drive intersection



81. Typical flatwork termination at drive intersection



82. Site stairway and sectional uplift trip hazard between 1512 and 1504 Buildings, single hand railing at 3 site stairways (Critical Repair)



83. Typical flatwork in front of apartment building



84. Typical flatwork termination at drive intersection



85. Area of flatwork sectional repair



86. Maintenance garage



87. Laundry room with non-compliant access pathway from accessible space (Critical Repair)



88. Laundry room metal panel roofing



89. Laundry Room washers



90. Laundry Room tankless water heater



91. Laundry Room nat gas wall heater



92. Laundry Room entrance



93. Laundry Room dryers



94. Laundry room



95. Typical dwelling unit Nat Gas metering



96. Typical dwelling unit electric metering



97. Upper floor unit access stairway at building end



98. Upper floor unit access stairway at building end



99. Upper floor unit access stairway at building connection



100. Upper floor unit access stairway at 1516 building damaged hand railing (Critical Repair)



101. Typical stairway landing



102. Site stairway north of 2539 and 2545 Buildings



103. Site stairway between 2539 and 2545 Buildings



104. Typical onsite railing system



105. Typical onsite railing system with excessive bollard opening widths (Critical Repair)



106. Partially retaining site wall at northern end of site



107. Partially retaining site wall at northern end of site



108. Partially retaining site wall at northern end of site



109. Partially retaining site wall at northern end of site



110. Partially retaining site wall at northern end of site



111. Partially retaining site wall at northern end of site



112. Partially retaining site wall at northern end of site



113. Site wall at southern end of site



114. Chain link eastern perimeter fencing



115. Chain link eastern perimeter fencing



116. Area of bare ground between 2539 and 1540 buildings (Non-Critical Repair)



117. Wrip-wrap covered site slope



118. Landscaping timber retaining wall



119. Landscaping timber retaining wall



120. Site stormwater drainage



121. Refuse container



122. Refuse container with no accessible pathway
(Critical Repair)



123. Ground level rear deck enclosed with chain
linked fencing



124. Ground level rear deck enclosed with chain
linked fencing



125. Ground level rear deck enclosed with chain linked fencing



126. Typical mailbox



127. Typical mailbox



128. Typical mailbox



129. Typical mailbox



130. Typical mailbox



131. Typical mailbox



132. Typical mailbox



133. Typical mailbox



134. Typical mailbox



135. Typical mailbox



136. Representative crawl space with perimeter stem wall insulation



137. Representative crawl space with wood floor joists and moisture barrier



138. Representative crawl space



139. Representative crawl space venting



140. Masonry veneer CMU footing



141. Typical drywall damage from building settling



142. Typical drywall damage from building settling



143. Typical drywall damage from building settling



144. Facade



145. Facade with soffit venting



146. Facade with soffit venting



147. Connected building area stairwell cladding



148. Connected building area stairwell cladding



149. Connected building area stairwell cladding and roof skylight



150. Apartment building end facade



151. Typical window unit



152. Typical window units



153. Typical roof condition



154. Typical roof condition



155. Typical roof condition



156. Typical roof condition



157. Typical roof condition



158. Typical roof condition



159. Typical roof skylight



160. Conjoined covered entry gutter and downspout



161. Typical nat gas fired water heater and furnace



162. Water heater tagging



163. Exterior condensing unit



164. Exterior condensing units



165. Typical nat gas fired water heater and furnace



166. Water heater tagging



167. Typical nat gas fired water heater and furnace



168. Water heater tagging



169. Typical nat gas fired water heater and furnace



170. Exterior condensing units



171. Exterior condensing units



172. Exterior condensing unit tagging



173. Exterior condensing unit tagging



174. Typical dwelling unit meter bank



175. Typical dwelling unit ITE breaker panel



176. Typical dwelling unit meter bank



177. Typical dwelling unit metered service 100-amp main breaker



178. Typical dwelling unit hardwired smoke detection



179. Typical dwelling unit battery operated smoke detection



180. Typical fire extinguisher



181. Typical fire extinguisher

APPENDIX D

HUD SAC/PIH Notice



Special Attention of:
Public Housing Agencies (PHAs)
Public Housing Directors
Resident Management Corporations

Notice PIH 2021-07 (HA)

Issued: January 19, 2021

This notice supersedes and replaces Notice PIH 2018-04. This notice remains in effect until amended, superseded or rescinded.

Cross-References: Notices: PIH 2011-7; 2016-13; 2016-20; 2016-22; 2016-23; 2017-10; 2017-22; 2017-24; 2020-04; RAD Final Implementation Notice Revision 4 (H-2019-09 PIH-2019-23 (HA))

Subject: Demolition and/or disposition of public housing property, eligibility for tenant-protection vouchers, and associated requirements.

1) Purpose. This notice explains application requirements to request HUD approval to demolish and/or dispose of public housing property under Section 18 of the United States Housing Act of 1937 (42 U.S.C. 1437p) (1937 Act) and related Tenant Protection Voucher (TPV) eligibility for such actions. This notice is used in conjunction with HUD's implementing regulations at 24 CFR part 970 and related rules and applies to all SAC applications, including those under review or already approved by HUD if the PHA is requesting an amendment of HUD's approval.

For purposes of this notice, public housing or public housing property means low-income housing, and all necessary appurtenances thereto, assisted under the 1937 Act, other than assistance under 42 U.S.C. 1437f of the 1937 Act (section 8), and includes public housing units developed pursuant to the mixed-finance development method. The term "project" is defined by section 3(b)(1) of the 1937 Act and means housing developed, acquired, or assisted by a PHA under the 1937 Act, and the improvements of any such housing. Public housing includes non-dwelling property (e.g., vacant land, administrative buildings and community buildings) acquired, developed, modernized, operated, or maintained with 1937 Act funds.

The contents of this notice, except when based on statutory or regulatory authority or law, do not have the force and effect of law and are not meant to bind the public in any way. This document is intended only to provide clarity to the public regarding existing requirements under the law or agency policies.

2) SAC Application Requirements.¹

A. Processing. HUD's Special Applications Center (SAC) reviews applications for demolition and disposition (SAC applications) in accordance with the requirements of 24 CFR part 970. SAC only reviews complete SAC applications. Pursuant to 24 CFR 970.29, HUD disapproves a SAC application if HUD determines: (1) a certification made by the PHA under 24 CFR part 970 is clearly inconsistent with the PHA Plan or any information and data available to or requested by HUD; or (2) the application was not developed in consultation with residents, resident groups, and local government officials.

B. PHA Plan. Proposed demolition or disposition must be included in a PHA Annual Plan, Significant Amendment, or MTW Annual Plan. All PHAs, including qualified PHAs, must discuss the demolition or disposition at a public hearing, as required by 24 CFR 903.17.²

C. Environmental Requirements. Proposed demolitions and disposition must comply with 24 CFR 970.13 and have environmental clearance, which means final approval from a HUD Approving Official or the Responsible Entity of an environmental review conducted under 24 CFR part 50 or 58. See Notice PIH 2016-22. PHAs are responsible for providing the Responsible Entity or local Office of Public Housing (Field Office) with a full description of the activities in connection with the demolition and/or disposition (including relocation, known future use of the site, use of disposition proceeds) to comply with aggregation requirements.³ The site re-use is not limited to future actions by the PHA, but includes any future known re-use. See 24 CFR 970.13(b) for factors in determining what constitutes a known future use.

D. Resident Consultation. In addition to resident consultation for PHA Plans, PHAs must comply with resident consultation requirements under 24 CFR 970.9, including consultation with: (i) residents who may be affected by the demolition or disposition action; (ii) resident organizations for the affected project, if any; (iii) PHA-wide resident organizations, if any; and (iv) the Resident Advisory Board or equivalent body. PHAs must ensure communications and materials are accessible to individuals with disabilities and take reasonable steps to provide meaningful access to persons with Limited English Proficiency (LEP). See section 6)F.5.

E. Offer of Sale to Resident Organizations (Disposition Only). PHAs must, in appropriate circumstances as determined by the Assistant Secretary, provide resident entities the opportunity to purchase the project, subject to certain exceptions. See 24 CFR 970.9(b)(3). A PHA requesting consideration of exceptions to 24 CFR 970.9(b)(1) must follow the process stated at 24 CFR 970.9(b)(4).

F. Board Resolution. A PHA must obtain a signed and dated resolution from its Board of Commissioners authorizing the PHA to submit the SAC application. The Board must be consulted and approve all material parts of the SAC application including the justification;

¹ Note that these items are not a substitute for the SAC application requirements described in 24 CFR part 970 or HUD-52860. Rather, the below provide additional guidance and clarification on certain requirements.

³ See 24 CFR 58.32 and 24 CFR 50.21.

method of disposition (if applicable); use of proceeds; and relocation plan. The authorizing resolution must be dated after all local government and resident consultations are conducted.

G. Phased Applications. PHAs may submit SAC applications through a “phased” method with staggered timelines, so that buildings in later phases remain eligible for Operating Funds. A PHA submits a SAC application in IMS/PIC for each phase, with different relocation start timelines. The same supporting documentation (e.g., board resolution, resident consultation, government consultation) may be used for its all phases. See 24 CFR 970.7(a).

H. Amendments. PHAs must comply with all material terms of the SAC application. If after receiving HUD approval a PHA’s plan changes on material terms, SAC approval of the change is required. Material terms include (i) method of disposition; (ii) public bid sale where offer is less than 80% of fair market value (FMV) appraisal submitted in the SAC application (the PHA must describe its due diligence in offering the public housing property for sale on the open and competitive market and its rationale for accepting an offer that is less than 80% of appraised FMV; alternatively, the PHA may submit an updated appraisal); and (iii) terms of commensurate public benefit disposition (the PHA must describe the revised future use of the property so HUD can confirm the commensurate public benefit). PHAs request amendments by sending an email to SACTA@hud.gov with the information noted above and a board resolution approving the change. On a case-by-case basis, SAC may require additional supporting documentation to support an amendment (e.g., evidence of local government and/or resident consultation; confirmation of environmental clearance).

3) Disposition.

A. Justification Criteria for Dwelling Units. HUD reviews PHA certifications and narratives, along with other information available to or requested by HUD, on a case-by-case basis. HUD approves SAC applications for dispositions based on at least one of the following two reasons:

1. Retention of the property is not in the best interests of the residents or the PHA.

HUD will approve a request for disposition by sale or other transfer of a public housing project or other real property if the PHA certifies that the retention of the property is not in the best interests of the residents, relative to:

a. Surrounding Area (24 CFR 970.17(a)): The conditions in the area surrounding the project (e.g., density, industrial or commercial development) adversely affect the health or safety of the residents or the feasible operation of the project by the PHA. The PHA supports its application with at least one of the following:

(1) Health or safety. PHAs demonstrate conditions that present serious obstacles in maintaining the units as healthy or safe housing and why the PHA cannot cure or mitigate those conditions in a cost-effective manner. HUD encourages PHAs to submit supporting third-party documentation, which include environmental reviews conducted under 24 CFR part 58. HUD may consider other available information, including analyses of land development, socioeconomic, community

facilities and services, and natural features. In accordance with Notice PIH 2016-22, HUD may elect to perform an environmental review under 24 CFR part 50; or

(2) Infeasible operation. PHAs demonstrate a lack of demand for the units. Supporting documentation includes evidence the units have long-term vacancy issues, notwithstanding due diligence in marketing (e.g., census tract data on declining population in the jurisdiction; units located in an isolated area with limited access to transportation and infrastructure; high turnover rates). On a case-by-case basis, HUD may require a PHA to submit a market analysis or HUD may perform one.

b. Improved Efficiency/Effectiveness Through Off-Site Development of Low-income Housing (24 CFR 970.17(b)). The disposition allows for the development of other properties that will be more efficiently or effectively operated as low-income housing projects. For purposes of this notice, “low-income housing” is limited to public housing units, project-based voucher (PBV) units, or Section 8 PBRA units and does not include housing where tenants are using tenant-based Section 8 Housing Choice Vouchers (HCV). Development may include acquisition (with or without rehabilitation) or new construction. PHAs must demonstrate why the replacement low-income housing units are preferable (e.g., more energy efficient; better unit configuration; better location in terms of transportation, jobs, or schools; furthers minority or economic de-concentration where units are relocated from an area of minority concentration to one that is not concentrated). The units being acquired, developed, or rehabilitated must be off-site. In providing the statement justifying the proposed disposition pursuant to 24 CFR 970.7(a)(5), PHAs explain their intention to acquire, develop, or rehabilitate low-income housing projects. For public housing units, the PHA submits the development proposal to HUD under 24 CFR part 905. For PBV units, the PHA submits an “intent to project-base” notification to the Field Office.

2. PHA certifies that it has determined the disposition to be appropriate (24 CFR 970.17(c)). A PHA has determined the disposition to be appropriate for reasons that are in the best interests of the residents and the PHA; consistent with the PHA goals and plans; and otherwise consistent with the 1937 Act. In making such a certification, a PHA considers its need for public housing units, the purpose and mandate of the 1937 Act, the mission and obligations of the PHA to maintain and operate projects as decent and safe housing in accordance with its ACC, and other tools available to the PHA to preserve and reposition its public housing stock. SAC applications are reviewed on a case-by-case basis. Below are examples:

a. Unit obsolescence. The units are obsolete as to physical condition in accordance with applicable demolition criteria described at section 4)A.1 of this notice.

b. Very Small PHAs. The PHA owns and operates 50 or fewer public housing units under its ACC and has determined that it is in the best interests of the residents and

PHA to close out its Section 9 public housing program in accordance with Notice PIH 2016-23.

- c. Improved Efficiency/Effectiveness Through On-Site Development of Low-income Housing (24 CFR 970.17(c)).** The requirements of Section 3)A.1.b of this notice apply except that the replacement low-income housing units are located on-site. The replacement low-income housing units may be newly constructed or the same public housing units after modernization (rehabilitation).⁴
- d. Scattered Site Units.** Due to distance between units and lack of uniformity of systems (e.g. HVAC, utilities), the PHA demonstrates an unsustainability to operate and/or maintain the units as public housing. For purposes of this notice, scattered site units generally mean units in non-contiguous buildings with four or fewer total units.
- e. Blending Section 18 Disposition Approvals with Rental Assistance Demonstration (RAD) Conversion.** The PHA is converting a portion of the public housing units within a Converting Project and is replacing the units proposed for disposition with project-based Section 8 assistance within the Covered Project, as the terms “Converting Project” and “Covered Project” are defined in the RAD Final Implementation Notice Revision 4 (H-2019-09 PIH-2019-23 (HA)), as amended from time to time (the “RAD Notice”). The aggregate number of replacement units (RAD and project-based Section 8) must meet the RAD “substantial conversion of assistance” requirements.
 - (1) RAD/Section 18 Construction Blend.** The percentage of units eligible for disposition within the Converting Project is based on the hard construction costs, including general requirements, overhead and profit, and payment and performance bonds, proposed for the new construction or rehabilitation of the Covered Project. To be eligible, the proposed transaction may not use 9% Low Income Housing Tax Credits. The following sets forth the percentage of units eligible for disposition within the Converting Project based on the level of construction activity:
 - (a)** If the hard construction costs are equal to or exceed ninety percent (90%) of the Housing Construction Costs as published by HUD for the given market area, at the PHA’s discretion up to sixty percent (60%) of the units in the Converting Project may be disposed of under Section 18. For high-cost areas, defined as those where HCC exceeds 120% of the national average,⁵ at the PHA’s discretion up to eighty percent (80%) of the units in the Converting Project may be disposed of under Section 18.

⁴ If the PHA is proposing to dispose of public housing units to allow the same units to be modernized (rehabilitated) under mixed-finance public housing development rules of 24 CFR part 905, the PHA submits the SAC application under the “MF-MOD” disposition application type in IMS/PIC. This ensures Capital Fund and Operating Fund subsidy are accurate.

⁵ To calculate the national average HCC and the HCC for each jurisdiction, HUD used the average of the 2-BR HCC for Elevator and Walk-up structures.

- (b) If the hard construction costs are equal to or exceed sixty percent (60%) but are less than ninety percent (90%) of the Housing Construction Costs as published by HUD for the given market area, at the PHA's discretion up to forty percent (40%) of the units in the Converting Project may be disposed of under Section 18.
- (c) If the hard construction costs are equal to or exceed thirty percent (30%) but are less than sixty percent (60%) of the Housing Construction Costs as published by HUD for the given market area, at the PHA's discretion up to twenty percent (20%) of the units in the Converting Project may be disposed of Section 18.

(2) RAD/Section 18 Small PHA Blend. For any PHA with 250 or fewer public housing units under its ACC, at the PHA's discretion up to eighty percent (80%) of the units in a Converting Project may be disposed of under Section 18. The PHA is not required to remove all of its remaining public housing units through a Small PHA Blend transaction. However, to be eligible for the Small PHA blend, the PHA must submit to HUD a feasible repositioning plan approved by the PHA's board of commissioners and acceptable to HUD that removes all of a PHA's public housing ACC units, reflects that the PHA will not develop additional public housing units under otherwise available Faircloth authority, and will not transfer that Faircloth authority to another PHA and will result in the closeout of the PHA's Section 9 public housing program and termination of its Section 9 ACC. Any PBV contract created under this subparagraph must be administered by an HCV contract administrator with at least 250 HCV units under its HCV ACC prior to creation of such PBV contract.

Please see Section 1.5.B of the RAD Notice relating to the applicability of RAD relocation requirements to residents of the Section 18 units and Section 1.6 of the RAD Notice relating to the applicability of RAD requirements to non-RAD units to facilitate the uniform treatment of residents where specified in the RAD Notice.

RAD/Section 18 blends are primarily processed by the Office of Recapitalization and are subject to RAD requirements and processes related to Financing Plan submission requirements, underwriting, DOT releases, terms of the disposition (e.g., treatment of proceeds), and placement of a long-term use agreement at the Covered Project. Notwithstanding processing by the Office of Recapitalization, in addition to RAD requirements, the PHA must also comply with Section 18 submission requirements.

B. Justification Criteria of Non-Dwelling Buildings and Vacant Land. The PHA certifies, by narrative statement and supporting documentation, that disposition of non-dwelling buildings or vacant land meets the criteria of 24 CFR 970.17(d) because the property exceeds the needs of the project after the date of full availability (DOFA); or the disposition of the property is incidental to, or does not interfere with, continued operation of the remaining portion of the project.

C. Commensurate Public Benefit. In accordance with 24 CFR 970.19, dispositions proposed below FMV require a finding of commensurate public benefit, which HUD determines on a case-by-case basis. Generally, the disposed property is developed for affordable housing purposes serving low-income families (incomes at or below 80% of area median). Such affordable housing may include, but is not limited to, public housing, project-based Section 8 housing, and housing developed with low-income housing tax credits (LIHTCs). HUD encourages PHAs to maximize economic opportunities available to residents (as described in section 6)F.5 of this notice) when requesting HUD approval of a below FMV disposition based on commensurate public benefit. PHAs should specifically describe these economic opportunity benefits in their SAC applications as part of the commensurate public benefit description. To ensure compliance with a HUD-approved commensurate public benefit, a use restriction may be required (such that it survives foreclosure of mortgages and other liens) and publicly recorded in the land records. As part of the SAC application, a PHA may propose a preferred form of use restriction (e.g., LIHTC extended use agreement, HOME agreement, reversion clause in transfer documents, provision in ground lease, separate use agreement). The use restriction must be in a form acceptable to HUD. Field Offices will not release the Declaration of Trust/Declaration of Restricted Covenants (DOT/DORC) (HUD-52190) (4/2018) (or previous versions) until the PHA evidences compliance.

4) Demolition.

A. Justification Criteria. HUD reviews demolition requests in accordance with the following criteria: (1) the project or portion of a project is obsolete as to physical condition, location, or other factors, making it unsuitable for housing purposes; and no reasonable program of modifications is cost-effective to return the public housing project or portion of the project to useful life; and (2) in the case of an application for demolition of a portion of a project, the demolition will help to ensure the viability of the remaining portion of the project.

- 1. Physical Condition (24 CFR 970.15(b)(1)(i) and (b)(2)).** PHAs must demonstrate substantial physical issues of the buildings/units (e.g., critical structural issues, deficiencies in major systems, deterioration due to prolonged deferred maintenance) that cannot be corrected in a cost-effective manner. PHAs may submit Physical Needs Assessments (PNAs), government inspections (including condemnation orders), and/or independent architect or engineer's reports as supporting documentation.⁶ HUD may consider other available information, including REAC scores; Capital Fund Program Five Year Action Plans, Energy Performance Contracting (EPC) information; and/or on-site inspections by HUD staff. To support a certification of physical obsolescence and cost-ineffectiveness, the PHA submits

⁶ In accordance with 24 CFR 905.314(g), PHAs are permitted to rehabilitate and address the capital needs of projects provided the rehabilitation costs do not exceed 90% of total development cost TDC. Accordingly, per 24 CFR 970.15(b)(2), if a project's rehabilitation costs are between 57.14% (or 62.5% if elevator) and 90% of TDC, the PHA may either voluntarily pursue a demolition or disposition action for the project or may rehabilitate the project with Capital Funds. However, if rehabilitation costs for a project exceed 90% of TDC, the PHA's only choice is to pursue a demolition or disposition or use funds other than Capital Funds to address the project's capital needs.

form HUD-52860-A (4/2018) and HUD-52860-B (4/2018), along with a list of specific and detailed work items that require rehabilitation or repair, preferably prepared by an outside engineer or architect, in two components: scope of work and cost-estimates. The following generally applies to the scope of work:

- a.** Estimates based on the standards outlined in the most recent International Building Code (IBC) and National Fire Protection Association (NFPA) 5000 standards. PHAs may include local code requirements (e.g., fire codes; requirements for natural disasters such as flooding or wildfires);
- b.** Building systems (e.g., HVAC, plumbing, electric), external amenities (e.g., roofs, doors, windows), and internal amenities (e.g., kitchens, bathrooms, flooring) limited to those that address immediate capital needs for a maximum of three years. Replacement costs are restricted to the remaining useful life of an item for three years or less. Actual service life may depend on initial quality of the item, local environmental factors, use/abuse, and levels of routine maintenance. Age of an item alone is not evidence of need to repair or replace. Each item is individually estimated and may reference life cycle values per the R.S. Means Facilities Maintenance and Repair Cost Data book;
- c.** Underground utilities (e.g., sewer, water, gas, electric), regardless of distances, provided the PHA owns the utility and evidences the need for replacement;
- d.** Mitigation costs of asbestos, lead-based paint, or other environmental issues supported by reports submitted with the SAC application;
- e.** Structural defects when supported by reports from a licensed professional engineer;
- f.** Accessibility improvements for persons with mobility, vision, hearing or other impairments, provided improvements are consistent with standards, regulations, and other requirements under Section 504 of the Rehabilitation Act of 1973 (including the Uniform Federal Accessibility Standards (UFAS)), Fair Housing Act, Americans with Disabilities Act, other applicable federal authorities, state or local requirements that exceed federal baseline requirements, and accessibility requirements in remedial agreements or orders;
- g.** Imminent health and/or safety issues even if such costs are otherwise not eligible provided the PHA provides supporting documentation from an independent party evidencing the occurrence and resulting health and/or safety risks.

HUD reserves the right to disallow items in a scope of work if HUD determines there are more cost-effective alternatives to address the rehabilitation or replacement needs. If PHAs complete major capital work after the scope of work is prepared, the PHA must include a description of that work in the SAC application. HUD generally does not allow the following costs to be included in a rehabilitation scope of work:

- a.** Work associated with enhancements or improvements of working systems or fixtures at the project (including energy efficiency “green” improvements);
- b.** Amenities not currently existing at the project (e.g., solar panels; tankless water heaters; trash enclosures, washer/dryer hook-ups; garbage disposals; central air-conditioning; addition of new porches);
- c.** Work items that address a project’s needs beyond three years;
- d.** Local code compliance if the building code requirements are otherwise not triggered by the rehabilitation/repair;
- e.** Landscaping or other site work beyond five feet of the exterior walls of a building;
- f.** Upgrading utility lines that are otherwise in working condition;
- g.** Work items associated with site improvements and appurtenances (e.g., parking lots, security cameras, playgrounds, community centers), even if those site improvements or appurtenances exist and in need of repairs; and
- h.** Replacing PHA personal property (e.g., replacing appliances or other removable fixtures such as refrigerators, ovens, and window treatments).

The following generally applies to cost estimates of the eligible scope of work items:

- a.** Total development costs (TDC) comparisons per HUD-posted costs for the year the rehabilitation estimate is made. See 24 CFR 905.314.
- b.** R.S. Means cost index, Marshall and Swift cost index, or other accurate and reliable cost estimates (e.g., actual and competitive bids).
- c.** Hard construction costs (HCC) as defined in 24 CFR part 905 (including existing items inside a building or within five feet of the exterior walls; and costs to repair landscaping damaged due to rehabilitation).

PHAs may not include additional costs attributable to inflation or “cost escalation.” For example, if a PNA completed in 2017 indicates a roof replacement is necessary in 2019, the PHA must use current estimated costs without any escalation, cost adjustments or other means of adjusting for inflation for work projected to be undertaken/completed in 2019. Instead, the PHA uses 2017 cost index information.

The following fees are maximum amounts for soft costs associated with public housing rehabilitation.⁷ PHAs may flexibly determine costs for each item provided the total cost does not exceed the maximum. Percentages are based on hard construction and will vary based on the project size:

- a. Construction contingency: 7.5 percent
 - b. Architectural/engineer's design and construction monitoring fees: 5.5 percent
 - c. Profit and overhead fees for specialty subcontractor (e.g. HVAC, electric, plumbing, elevator): 10 percent
 - d. General condition fees (e.g., permit, insurance, bonds): 5 percent
 - e. PHA administrative costs: 2 percent
2. **Location (24 CFR 970.15(b)(1)(ii) and (b)(2)).** PHA demonstrates the location of the units causes obsolescence, including physical deterioration of the neighborhood; change in neighborhood from residential to industrial or commercial; or environmental conditions which jeopardize the suitability of the site or a portion of the site and its housing structures for residential use. The cost test for obsolescence based on location includes the PHA's cost to cure the obsolescence (e.g., buffering nearby industrial or commercial development; mitigating environmental conditions) and whether these costs exceed applicable TDC percentages. In some cases, there may be no way to cure the obsolescence, regardless of cost (e.g., project is in a Federal Emergency Management Agency (FEMA) designated floodway). In other cases, the obsolescence may be curable with a mitigation cost (e.g., flood-proofing and flood insurance for designated floodplains).
3. **Other Factors (24 CFR 970.15(b)(1)(iii) and (b)(2)).** PHA demonstrates factors impacting the marketability, usefulness, or management of the units that seriously impede operations for residential use supported by third party documentation. The cost test for obsolescence based on other factors includes the PHA's cost to cure the cause and whether these costs exceed applicable TDC percentages. In some cases, curing the obsolescence is not possible regardless of costs. In cases where the obsolescence may be curable, include the PHA's cost of due diligence in marketing and to cure obsolete factors (e.g., cost to add a second bathroom to units with a high number of bedrooms).

B. *De Minimis* Demolition. In any 5-year period, a PHA may demolish the lesser of 5 dwelling units or 5 percent of the total public housing dwelling units without the need to obtain HUD approval under 24 CFR part 970, provided the resulting space is used to meet the service or other needs of the residents or the PHA determines the unit(s) are beyond repair. Demolition criteria of 970.15 do not apply to *de minimis* demolitions. Prior to

⁷ HUD may consider higher percentages for soft costs for compelling reasons on a case-by-case basis.

demolishing units under this authority, the PHA must submit information to HUD via IMS/PIC, including a description of the proposed units and other items required by 24 CFR 970.7(a)(1), (2), (12), (13), and (14).

5) Eligibility and Application Process for Tenant-Protection Vouchers (TPVs).

A. TPV Eligibility. As part of HUD's approval of a SAC application, a PHA may be eligible to receive Section 8 HCV assistance from HUD in the form of TPVs. The issuance of TPVs to a PHA does not occur with SAC approval of an application. Instead, the PHA must apply separately for TPVs in accordance with the current PIH funding notice for the HCV program.

HUD determines a PHA's TPV award based on the relevant appropriations and other HUD-issued guidance (including the applicable year's HCV funding notice). HUD's approval of the SAC application indicates the maximum number of both relocation and replacement TPVs that a PHA may be eligible to receive.

Based on limited availability of TPV funding, HUD is limiting the maximum TPV awards for dispositions based on improved efficiency or effectiveness under Section 3)A.1.b or 3)A.2.c of this notice to 25 percent of the occupied units at the project. However, even if a PHA is not eligible to receive TPVs in a SAC-approved disposition, the PHA must still comply with relocation requirements of 24 CFR 970.21.

B. TPV Application Process. A PHA must submit the following to the Field Office:

1. Name and IMS/PIC number for the units approved in the SAC application. Number of TPVs (both relocation and replacement) requested which must equal or be less than the maximum number of TPVs identified in the SAC approval and address relevant appropriation limits including HUD TPV guidance. See Notice PIH 2017-10 (or the current replacement PIH funding notice for the HCV program) concerning the differences between replacement and relocation TPVs.
2. Form HUD-52515 (Voucher Funding Application). If lease-up covers more than one calendar year, the PHA must submit a separate Form HUD-52515 for each calendar year.
3. Leasing schedule identifying the number of TPVs leased on a month-to-month basis. If lease-up covers more than one calendar year, the PHA must submit separate leasing schedules for each calendar year. If the PHA is approved for both replacement and relocation TPVs as part of the same SAC approval, the PHA must submit separate leasing schedule(s) for each type of TPV.
4. SAC application approval as a PDF copy, signed and dated.
5. If the PHA is a Public Housing-only PHA (and therefore cannot receive or administer TPVs), the name and PHA code of the PHA that has agreed to administer the TPVs, along with an agreement letter from that PHA. HUD does not allow Public Housing-only PHAs to create Section 8 HCV programs based solely on TPV eligibility.

The Field Office conducts a threshold review of the TPV request prior to sending the request to HUD's Financial Management Division (FMD) for processing. HUD's Financial Management Center (FMC) notifies PHAs of final TPV awards.

6) Other Requirements.

A. Existing Financial Transactions. PHAs with an approved transaction through the Capital Fund Financing Program (CFFP), Section 30 (including PHA Mortgaged Transaction (PMT)), Energy Performance Contracting (EPC), or Operating Fund Financing Program (OFFP) must comply with additional instructions provided by HUD regarding such financing and may not take any steps to implement a SAC-approved application without receiving confirmation from HUD that all applicable requirements of the financing are satisfied. PHAs must certify an existing financial agreement is not at risk because of the proposed demolition or disposition action.

B. Operating Fund Accuracy. Updating Days to Relocation. As part of the SAC application, PHAs include an estimated number of days from a SAC-approved application that it plans to start relocation. HUD recognizes relocation plans sometimes change. However, because HUD relies on relocation information to determine Operating Funds, PHAs are responsible to ensure the relocation information remain reasonably accurate. If days to relocation in a SAC application is not reasonably accurate, Asset Repositioning Fee (ARF) payments under 24 CFR 990.190 will be affected. See Notice PIH 2017-22 on how to update relocation dates.

C. Re-occupying Units Proposed for Demolition or Disposition. 24 CFR 970.25(a) states a PHA should not re-rent units at turnover while HUD is considering a SAC application. However, due to community needs or for other reasons consistent with its PHA Plan, a PHA may decide it is in the best interests of the PHA, its residents, and the community to re-occupy vacated units that are under SAC review. If the PHA proposes demolition or disposition because units are structurally unsound, located in a floodway, or otherwise uninhabitable, the PHA cannot reoccupy the units. PHAs cannot re-occupy units after issuance of the 90-day relocation notice.

D. Reporting Requirements. Within seven days of completion of the demolition or disposition (e.g., execution of the sale or lease contract for disposition), PHAs must report the action in IMS/PIC. On a case-by-case basis, HUD may require other reporting information.

E. False Certifications and HUD Enforcement. Any person knowingly presenting a false, fictitious or fraudulent statement or claim in a HUD matter, including certifications and supporting documentation submitted with SAC applications, is subject to criminal penalties, civil liability, or administrative actions which HUD may prosecute. HUD may pursue debarment/suspensions of principals and PHAs, and any enforcement actions available including, but not limited to, injunctive relief and other equitable remedies.

F. Civil Rights Requirements. This notice does not modify a PHA's fair housing, civil rights, or accessible housing obligations. It does clarify those obligations with respect to public housing demolition/disposition under Section 18.

- 1. PHA Certification.** As part of the SAC application, PHAs certify they will carry out the removal action in compliance with all applicable civil rights requirements, including Title VI of the Civil Rights Act of 1964, the Fair Housing Act, Section 504 of the Rehabilitation Act of 1973, Title II of the Americans with Disabilities Act of 1990, all regulations implementing these authorities, other applicable Federal, State, and local civil rights laws, and the duty to affirmatively further fair housing. A PHA's certification means that it will fulfill the requirements set out in HUD regulations found at Title 24 of the Code of Federal Regulations, including regulations in place at the time of this certification, and any subsequently promulgated regulations governing the obligation to affirmatively further fair housing. The PHA is always responsible for understanding and implementing the requirements of HUD regulations and policies, and has a continuing obligation to affirmatively further fair housing in compliance with the 1968 Fair Housing Act, the Housing and Community Development Act of 1974, The Cranston-Gonzalez National Affordable Housing Act, and the Quality Housing and Work Responsibility Act of 1998. (See 42 U.S.C. 3608, 5304(b)(2), 5306(d)(7)(B), 12705(b)(15), and 1437C–1(d)(16)). PHAs also certify that, if HUD approves the SAC application, subsequent implementation complies with all applicable civil rights requirements, including environmental determinations for environmental justice.
- 2. HUD Civil Rights Review.** HUD's Office of Fair Housing and Equal Opportunity (FHEO) conducts a civil rights review of SAC applications, which may include applications for non-dwelling property. Pursuant to 24 CFR 970.7(a)(17), HUD may request additional information, including information about the PHA's compliance with nondiscrimination requirements in relocations under 24 CFR 970.21(a) and the PHA's affirmatively furthering fair housing certification under 24 CFR 903.7(o).
- 3. Disclosure of Remedial Orders and Compliance Agreements.** In its SAC application, the PHA provides a certification that the demolition or disposition does not violate any remedial civil rights order or agreement, voluntary compliance agreement, final judgment, consent decree, settlement agreement, or other court order or agreement (per 24 CFR § 970.9(a)(16)). In addition, the PHA states whether it is operating under any federal, state, or local remedial order, compliance agreement, final judgment, consent decree, settlement agreement or other court order or agreement, including but not limited to those related to a fair housing or other civil rights finding of noncompliance. If the PHA is operating under such a document, it must provide a citation to the document and attach a narrative description explaining how the proposed demolition or disposition is consistent with such document.
- 4. Federal Labor Standards and Economic Opportunity.** PHAs using HUD funds for demolition or disposition must comply with all applicable federal labor standards of Section 12 of the 1937 Act (42 U.S.C. 1437j) (Davis-Bacon) and requirements of Section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C 1701u), as amended. Activities include but are not limited to demolition and resident relocation. Under Section 3 and 24 CFR part 75, recipients of certain HUD financial assistance must provide employment, training, and economic opportunities to the greatest extent feasible

to Section 3 residents or business concerns. Recipients of HUD funds have Section 3 obligations regardless of the amount of funds (see 24 CFR 75.3).

5. Resident Consultation for Persons with Disabilities and Persons with Limited English Proficiency. To ensure individuals with disabilities have reasonable opportunities to consult on the SAC application, PHAs must ensure communications and materials are accessible and in compliance with Section 504 of the Rehabilitation Act of 1973, 24 CFR 8.6, and the Americans with Disabilities Act of 1990, 28 CFR parts 35.160-35.163. This includes ensuring written and oral communications, including resident meetings, are provided in appropriate alternative formats as needed, e.g., Braille, audio, large type, accessible electronic communications, assistive listening devices, sign language interpreters, computer-assisted real time transcription of meetings, Brailled materials, large print documents, accessible web-based and email communications, and when providing materials via the Web. In selecting locations for consultation with residents, the PHA must provide equal access for persons with disabilities, conducting sessions at locations that are physically accessible to persons with disabilities, including individuals who use wheelchairs. Individuals with disabilities must receive services in the most integrated setting appropriate to their needs, meeting the needs of qualified individuals with disabilities that enables interactions to the fullest extent possible. The PHA is guided by the goal of maximizing participation in an integrated setting so that residents with disabilities and residents without disabilities may hear and consider each other's views. Priority shall be given to on-site accessible locations (e.g., TV rooms or informal gathering places) even if to do so requires multiple sessions with smaller groups of residents. Title VI of the Civil Rights Act of 1964 and regulations at 24 CFR part 1, require PHAs to take reasonable steps to ensure meaningful access to their programs and activities for persons who have limited ability to read, speak, or understand English (i.e., individuals who have limited English proficiency or LEP persons). Written materials provided in English are to be provided in regularly encountered languages among the residents. PHAs may need to provide interpreters to communicate between different languages to ensure LEP persons have meaningful access. PHAs hold meetings in languages other than English to provide direct communication and participation.

7) Relocation of Residents. If residents are relocated due to a demolition and/or disposition, the PHA must follow relocation requirements at 24 CFR 970.21, and not the relocation requirements at 49 CFR part 24, which implements the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA), as amended. However, if subsequent acquisition, rehabilitation or demolition carried out with HUD funds or carried out with other HUD-funded activities causes residents to relocate, the URA may apply to those relocations. Additionally, if CDBG or HOME funds are used in the demolition or with conversion of lower-income dwelling units to a use other than lower-income dwelling units, the project may be subject to section 104(d) of the Housing and Community Development Act of 1974, including relocation assistance and one-for-one replacement provisions under 24 CFR part 42 subpart C.

8) Technical Assistance. Contact SACTA@hud.gov.

9) Paperwork Reduction Act. Information collection requirements contained in this notice are approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520). The OMB control numbers are 2577-0029, 2502-0612 and 2577-0075.

/s/

Dominique Blom
General Deputy Assistant Secretary for Public and Indian
Housing

APPENDIX E

HUD TDC Calculation and HUD Form 52860-B

2022 UNIT TOTAL DEVELOPMENT COST (TDC) LIMITS

Number of Bedrooms

<i>0</i>		<i>1</i>		<i>2</i>		<i>3</i>		<i>4</i>		<i>5</i>		<i>6</i>	
<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>	<i>HCC</i>	<i>TDC</i>
<i>500 sqft</i>		<i>700 sqft</i>		<i>900 sqft</i>		<i>1200 sqft</i>		<i>1500 sqft</i>		<i>1700 sqft</i>		<i>1900 sqft</i>	

Region IX - West

NEVADA

LAS VEGAS

Detached/Semi-Detached	117,759	206,078	152,626	267,096	182,284	318,997	217,104	379,932	255,420	446,985	280,005	490,009	303,725	531,519
Row House	93,266	163,215	121,980	213,465	147,567	258,243	180,183	315,321	213,567	373,742	235,231	411,654	255,443	447,026
Walkup	89,699	156,973	122,458	214,302	155,172	271,550	204,635	358,111	253,674	443,930	285,897	500,319	317,742	556,049
Elevator	95,285	152,456	133,399	213,439	171,513	274,421	228,684	365,895	285,855	457,369	323,970	518,351	362,084	579,334

RENO

Detached/Semi-Detached	108,100	189,175	140,223	245,390	167,568	293,244	199,717	349,505	235,054	411,345	257,730	451,027	279,656	489,399
Row House	84,884	148,548	111,176	194,557	134,663	235,660	164,723	288,265	195,384	341,922	215,292	376,760	233,893	409,313
Walkup	81,086	141,900	110,562	193,484	139,996	244,992	184,518	322,907	228,639	400,119	257,607	450,812	286,217	500,880
Elevator	87,086	139,338	121,920	195,073	156,755	250,808	209,007	334,410	261,258	418,013	296,093	473,748	330,927	529,483

The information collection requirements contained in this document have been approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520) and assigned OMB control number 2577-0075. There is no personal information contained in this application. Information on activities and expenditures of grant funds is public information and is generally available for disclosure. Recipients are responsible for ensuring confidentiality when disclosure is not required. In accordance with the Paperwork Reduction Act, HUD may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a currently valid OMB control number.

This information is required as a supplement to the HUD-52860 for all SAC applications that propose a demolition under 24 CFR 970.15 or a disposition under 24 CFR 970.17 based on physical obsolescence. HUD will use this information to determine whether, and under what circumstances, to approve SAC applications as well as to track removals for other record keeping requirements. Responses to this collection of information are statutory and regulatory to obtain a benefit. All terms not defined in this form have the meanings as 24 CFR part 970 and PIH notice 2018-04 (or any replacement notice). The information requested does not lend itself to confidentiality.

1. SAC Application Number in IMS/PIC DDA _____
Project (AMP) Name & Number in IMS/PIC Hawk View Apartments

2. Housing Construction Cost (HCC) Calculation

Based on HUD Notice PIH-2021-07 Year: 2022 For Locality: Reno, Nevada

Complete the calculations below for the unit proposed for demolition and/or disposition based on physical obsolescence:

Size - Type	Number of units	Times	TDC Per Unit	= TDC
0 - Bdr Detached and Semi detached		X		\$0.00
0 - Bdr Row Dwelling		X		\$0.00
0 - Bdr Walk-Up		X		\$0.00
0 - Bdr elevator		X		\$0.00
1 - Bdr Detached and Semi detached		X		\$0.00
1 - Bdr Row Dwelling		X		\$0.00
1 - Bdr Walk-Up		X		\$0.00
1 - Bdr elevator		X		\$0.00
2 - Bdr Detached and Semi detached		X		\$0.00
2 - Bdr Row Dwelling		X		\$0.00
2 - Bdr Walk-Up	100	X	\$ 244,992.00	\$24,499,200.00
2 - Bdr elevator		X		\$0.00
3 - Bdr Detached and Semi detached		X		\$0.00
3 - Bdr Row Dwelling		X		\$0.00
3 - Bdr Walk-Up		X		\$0.00
3 - Bdr Elevator		X		\$0.00
4 - Bdr Detached and Semi detached		X		\$0.00
4 - Bdr Row Dwelling		X		\$0.00
4 - Bdr Walk-Up		X		\$0.00
4 - Bdr Elevator		X		\$0.00
5 - Bdr Detached and Semi detached		X		\$0.00
5 - Bdr Row Dwelling		X		\$0.00
5 - Bdr Walk-Up		X		\$0.00
5 - Bdr Elevator		X		\$0.00
6 - Bdr Detached and Semi detached		X		\$0.00
6 - Bdr Row Dwelling		X		\$0.00
6 - Bdr Walk-Up		X		\$0.00
6 - Bdr Elevator		X		\$0.00
Total Units	100			\$24,499,200.00

3. Estimated Cost of Rehabilitation

Attach a document showing rehabilitation needs by line item and dollar amount

\$15,002,999

4. Rehabilitation Cost % (estimated cost of Rehabilitation/Total HCC) x 100 =

61.24%

Provide attachments as needed. All attachments must reference the Section and line number to which they apply
Previous versions obsolete

Instructions Form HUD-52860-B

Refer to SAC website at www.hud.gov/sac for more information

PHAs proposing to demolish or dispose of public housing developments based on physical obsolescence under 24 CFR part 970 must complete this HUD-52860-B in order to demonstrate to HUD that no reasonable program of modification is cost-effective to return the development to their useful life.

Item 1: Insert the number of the PIH Notice from which the PHA extracted the Total Development Cost (TDC) data. The year of the PIH Notice should coincide with the year the rehabilitation estimate was generated, which should not be more than two years prior to the SAC application submission date. Insert the name of the nearest locality to the proposed developments.

Item 2: TDC Calculation: Complete the TDC calculation for the proposed developments.

Item 3: Rehabilitation Calculation: Attach a document showing rehabilitation needs by line item and dollar amount for the proposed developments in accordance with 24 CFR 970.15 and PIH notice 2018-04 (or any replacement notice). Soft costs associated with the rehabilitation (e.g. construction contingency, architectural/engineer's design and construction monitoring fees; profit & overhead fees for specialty sub-contractor; general condition fees; and PHA administrative costs) should all be listed as separate line items. Certain costs may require additional third-party documentation. See PIH notice 2018-04 (or any replacement notice).

APPENDIX F

Property Substantial Renovation Estimate

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600
Project:	Hawk View		Net Leasable Square Feet:	86,500
Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Existing Conditions	Costs included are for demolition/construction debris containment and removal, demolition work need for foundation and building repairs.			\$ 851,629.20
500	024119166100	Selective demolition, cutout, drywall, to 5/8" thick, openings to 5 S.F., excludes re-framing, loading and disposal	Ea.	\$ 14.57	\$ 7,285.00
200	024119167310	Selective demolition, cutout, wood frame, roofs, sheathing, to 1" thick, openings to 5 S.F., excludes re-framing, roofing, loading and disposal	Ea.	\$ 58.38	\$ 11,676.00
400	024119167410	Selective demolition, cutout, wood frame, walls, sheathing, to 1" thick, openings to 5 S.F., excludes re-framing, siding, loading and disposal	Ea.	\$ 49.97	\$ 19,988.00
10	024119190840	Selective demolition, rubbish handling, dumpster, 40 C.Y., 10 ton capacity, weekly rental, includes one dump per week, cost to be added to demolition cost	Week	\$ 850.00	\$ 8,500.00
40	024119192000	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, cost to be added to demolition cost	C.Y.	\$ 28.95	\$ 3,474.00
40	024119192005	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, wheeled, cost to be added to demolition cost	C.Y.	\$ 18.68	\$ 747.20
120	024119200100	Selective demolition, dump charges, typical urban city, building construction materials, includes tipping fees only	Ton	\$ 81.00	\$ 9,720.00
3,100	060505106140	Selective demolition, wood framing, wood framing, sheathing from walls, 5/8", from walls	S.F.	\$ 0.57	\$ 1,767.00
1300	060505201000	Selective demolition, millwork and trim, wood base cabinets	L.F.	\$ 7.88	\$ 10,244.00
1300	060505201020	Selective demolition, millwork and trim, wood wall cabinets	L.F.	\$ 7.88	\$ 10,244.00
1300	060505201500	Selective demolition, millwork and trim, counter top, straight runs	L.F.	\$ 3.15	\$ 4,095.00
32300	090505200850	Selective demolition, millwork and trim, vinyl or rubber cove base	L.F.	\$ 0.43	\$ 13,889.00
100	028200000000	Hazardous Material Remediation: Allowance Per Unit; VCT mastic, insulation, drywall	Ea.	\$ 7,500.00	\$ 750,000.00
					\$ -
	Concrete	Costs included are for concrete replacement of footings and slabs as a result of foundation repairs and plumbing piping repair/replacement.			\$ 1,589,362.50
25	Contractor Quote	Push-pile support of Interior continuous footing	Bldg.	\$ 42,383.00	\$ 1,059,575.00
25	AEI Estimate	Allowance for Exterior continuous footing repair (1/2 interior cost)	Bldg.	\$ 21,191.50	\$ 529,787.50
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600	
Project:	Hawk View		Net Leasable Square Feet:	86,500	
Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR	
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
30%	Masonry	Costs included are for replacement of damaged masonry as well as technical pointing of brick veneer (approximately 30%) and final clean-up.			\$ 187,518.94
5967	042113132600	Brick veneer masonry, buff or grey brick, running bond, truckload lots, 6.75/SF, 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 18.47	\$ 110,210.49
5967	040505105020	Selective demolition, masonry, veneers, brick, hard mortar, remove	S.F.	\$ 3.34	\$ 19,929.78
5967	040120200300	Pointing masonry, tuck, cut and re-point, hard mortar, running bond	S.F.	\$ 6.86	\$ 40,933.62
2386.8	040120520300	Cleaning masonry, heavy restoration, light soil, by chemical, high pressure wash, brush and rinse, excludes scaffolding	S.F.	\$ 1.49	\$ 3,556.33
2386.8	040120520310	Cleaning masonry, heavy restoration, average soil, biological staining, by chemical, high pressure wash, brush and rinse, excludes scaffolding	S.F.	\$ 2.22	\$ 5,298.70
1193.4	040120520320	Cleaning masonry, heavy restoration, heavy soil, biological and mineral staining, paint, by chemical, high pressure wash, brush and rinse, excludes scaffolding	S.F.	\$ 3.51	\$ 4,188.83
5967	040120524000	Cleaning masonry, add for masking doors and windows	S.F.	\$ 0.57	\$ 3,401.19
					\$ -
	Metals	Costs included are for missing metal railings needed as noted, accessibility deficiency.			\$ 25,203.00
200	057323500550	Railing, ornamental, steel, 3'-6" high, posts @ 6' OC, panelized, plain	L.F.	\$ 103.15	\$ 20,630.00
100	055213500940	Railing, pipe, steel, wall rail, primed, 1-1/2" diameter, shop fabricated	L.F.	\$ 45.73	\$ 4,573.00
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:		98,600
Project:	Hawk View		Net Leasable Square Feet:		86,500
Address:	1548 Steelwood Lane		Number of Units:		100
City, State:	Reno, NV		R.S. Means City Source:		Reno, NV (894-895)
			R.S. Means Year 2022 Quarter 2		Labor Type (Standard or Union): Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Rough Carpentry	Costs included are for correction of settlement issues that was observed at walls and openings. Select areas of wood frame floors were observed with warping and buckling. Signs of water damage was observed at several floor joists and roof framing.			\$ 345,182.27
5,000	0302028	Floor framing systems, 2" x 8", 16" OC	S.F.	\$ 9.53	\$ 47,650.00
10,000	0302038	Floor framing systems, 2" x 10", 16" OC	S.F.	\$ 10.59	\$ 105,900.00
1,000	0308026	Exterior wall framing systems, 2" x 4", 16" OC	S.F.	\$ 6.07	\$ 6,070.00
500	0308042	Exterior wall framing systems, 2" x 6", 16" OC	S.F.	\$ 6.94	\$ 3,470.00
800	0312034	Gable end roof framing systems, 2" x 6" rafters, 16" OC, 4/12 pitch	S.F.	\$ 9.26	\$ 7,408.00
800	0312046	Gable end roof framing systems, 2" x 8" rafters, 16" OC, 4/12 pitch	S.F.	\$ 10.64	\$ 8,512.00
1,000	0348026	Interior partition framing systems, 2" x 4", 16" OC	S.F.	\$ 2.60	\$ 2,600.00
500	0348042	Interior partition framing systems, 2" x 6", 16" OC	S.F.	\$ 3.31	\$ 1,655.00
5,000	061110022620	2" x 4" miscellaneous wood blocking, to wood construction	B.F.	\$ 4.74	\$ 23,690.50
2,600	061110022660	2" x 8" miscellaneous wood blocking, to wood construction	B.F.	\$ 3.63	\$ 9,426.77
9,600	0660038	Plywood, 1/2" thick	S.F.	\$ 4.36	\$ 41,856.00
16,000	0660039	Plywood, 5/8" thick	S.F.	\$ 4.46	\$ 71,360.00
3,200	0660040	Plywood, 3/4" thick	S.F.	\$ 4.87	\$ 15,584.00
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600	
Project:	Hawk View		Net Leasable Square Feet:	86,500	
Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
75%	Finish Carpentry	Costs included are for replacement of kitchen and bath cabinets due to condition and access to replace the plumbing piping. Interior trim due to settlement issues, plumbing replacement, window and door replacement.			\$ 283,608.95
1,100	060505201000	Selective demolition, millwork and trim, wood base cabinets	L.F.	\$ 7.71	\$ 8,481.00
1,100	060505201020	Selective demolition, millwork and trim, wood wall cabinets	L.F.	\$ 7.71	\$ 8,481.00
1,100	060505201500	Selective demolition, millwork and trim, counter top, straight runs	L.F.	\$ 3.10	\$ 3,410.00
13600	062213300110	Moldings, casings, apron, 5/8" x 3-1/2", pine	L.F.	\$ 4.39	\$ 59,704.00
8287.5	062213400330	Exterior trim and moldings, band board, pine, #2, 1" x 4"	L.F.	\$ 2.95	\$ 24,448.13
8287.5	062213400350	Exterior trim and moldings, band board, pine, #2, 1" x 8"	L.F.	\$ 3.92	\$ 32,487.00
4143.75	062213400370	Exterior trim and moldings, band board, pine, #2, 1" x 12"	L.F.	\$ 5.51	\$ 22,832.06
8287.5	060505202100	Selective demolition, millwork and trim, paneling, boards, 1" x 4", remove	S.F.	\$ 1.31	\$ 10,856.63
12431.25	060505202140	Selective demolition, millwork and trim, paneling, boards, 1" x 8"	S.F.	\$ 1.15	\$ 14,295.94
5860	062213155100	Moldings, base, classic profile, 5/8" x 5-1/2", finger jointed and primed	L.F.	\$ 3.37	\$ 19,748.20
500	062213502800	Moldings, window & door, for doors, stock, decorative, plain, 1-1/8" wide	Set	\$ 69.89	\$ 34,945.00
500	062213505950	Moldings, window & door, window trim sets, 2-1/2" wide, includes casings, header, stops, stool & apron, pine	Opng.	\$ 87.84	\$ 43,920.00
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600
Project:	Hawk View		Net Leasable Square Feet:	86,500
Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
75%	Thermal & Moisture	75% of the textured wood siding and exterior trim is recommended based on observed damage, observed condition and settlement issues.			\$ 513,775.28
59670	072510103000	Weather barriers, building paper, spun bonded polyethylene	S.F.	\$ 0.33	\$ 19,691.10
59670	074629102050	Wood product siding, plywood, Texture 1-11, southern yellow pine, natural, 5/8" thick	S.F.	\$ 4.40	\$ 262,548.00
8287.5	074673100100	Soffit, baked enamel on steel, 16 or 18 gauge	S.F.	\$ 13.50	\$ 111,881.25
8287.5	070505102775	Selective demolition, thermal and moisture protection, roof ventilation, soffit vent strip, aluminum, 3" to 4" wide	L.F.	\$ 1.85	\$ 15,331.88
59670	070505105670	Selective demolition, thermal and moisture protection, siding, textured plywood	S.F.	\$ 0.59	\$ 35,205.30
33150	070505100020	Selective demolition, thermal and moisture protection, caulking/sealant, to 1" x 1" joint	L.F.	\$ 0.49	\$ 16,243.50
16575	079213200055	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	L.F.	\$ 1.40	\$ 23,205.00
11050	079213200075	Joint sealants, caulking and sealants, bulk acrylic latex, 3/8" x 3/8", in place	L.F.	\$ 1.69	\$ 18,674.50
5525	079213200100	Joint sealants, caulking and sealants, bulk acrylic latex, 1/2" x 1/2", in place	L.F.	\$ 1.99	\$ 10,994.75
					\$ -
	Insulation	Costs included are for replacement of damaged and missing insulation and any insulation to be removed as a result of reconstruction work.			\$ 31,845.00
11,000	0420043	Non-rigid insul, batts, fbgl, kraft faced, 3-1/2" thick, R13, 15" W	S.F.	\$ 1.19	\$ 13,090.00
12,100	0420045	Non-rigid insul, batts, fbgl, kraft faced, 6" thick, R19, 11" wide	S.F.	\$ 1.55	\$ 18,755.00
					\$ -
	Roofing				\$ -
		NONE INCLUDED			\$ -
	Sheet Metal				\$ -
		NONE INCLUDED			\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600	
Project:	Hawk View		Net Leasable Square Feet:	86,500	
Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100%	Doors	Each dwelling unit was observed with two (2) entry doors and one (1) door to the mechanical room. Due to settlement issues (failing seals and becoming inoperable), age and condition, replacement is warranted. The dwelling unit interior doors was observed, due to settlement issues (becoming inoperable and will not stay on track), age and condition, replacement is warranted .			\$ 780,869.60
300	080505100200	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	Ea.	\$ 20.05	\$ 6,015.00
300	080505100700	Door demolition, interior bi-fold door, 3' x 6' - 8" high, remove	Ea.	\$ 15.95	\$ 4,785.00
200	080505101520	Door demolition, interior door,Solid, 1-3/8" thick, remove and reset, minimum	Ea.	\$ 68.67	\$ 13,734.00
300	080505104010	Door demolition, residential lockset, exterior, with deadbolt, remove	Ea.	\$ 15.87	\$ 4,761.00
200	080505104020	Door demolition, residential lockset, interior, remove	Ea.	\$ 13.78	\$ 2,756.00
300	080505104200	Door demolition, residential lockset, deadbolt lock, remove and reset	Ea.	\$ 12.92	\$ 3,876.00
100	081433200280	Doors, wood, residential, exterior, combination storm and screen, pine, crossbuck, 6'-9" x 3'-0" wide	Ea.	\$ 571.52	\$ 57,152.00
300	081433201320	Doors, wood, residential, entrance, flush, birch, solid core, 1-3/4" x 6'-8" x 3'-0" wide	Ea.	\$ 719.54	\$ 215,862.00
200	081416090210	Door, wood, architectural, flush, interior, hollow core, 7 ply, birch face, 3'-0" x 7'-0" x 1-3/4" thick	Ea.	\$ 332.00	\$ 66,400.00
200	081433202740	Doors, wood, residential, interior, closet, bi-fold, flush, birch, 6'-6" or 6'-8" x 3'-0" wide, incl. hardware, excl. frame and trim	Ea.	\$ 337.76	\$ 67,552.00
100	081433202800	Doors, wood, residential, interior, closet, bi-fold, flush, birch, 6'-6" or 6'-8" x 6'-0" wide, incl. hardware, excl. frame and trim	Ea.	\$ 585.58	\$ 58,558.00
100	087120151000	Door hardware, apartment, interior	Apt.	\$ 748.67	\$ 74,867.00
300	087120154200	Door hardware, for peep hole, add to price of door	Ea.	\$ 11.65	\$ 3,495.00
300	087120400400	Door hardware, lockset, standard duty, cylindrical, with sectional trim, keyed, single cylinder function	Ea.	\$ 255.79	\$ 76,737.00
300	087120400500	Door hardware, lockset, standard duty, cylindrical, with sectional trim, lever handled, keyed, single cylinder function	Ea.	\$ 253.61	\$ 76,083.00
300	087120411420	Door hardware, deadbolt lock, single cylinder	Ea.	\$ 159.52	\$ 47,856.00
5	087120652010	Threshold, wood oak, ADA, 3-1/2" wide x 36" long	Ea.	\$ 76.12	\$ 380.60
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600
Project:	Hawk View		Net Leasable Square Feet:	86,500
Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100%	Windows	Vinyl windows were observed; however, due to foundational shifting (settlement) issues the windows have failing seals and becoming inoperable. Replacement of the windows is recommended.			\$ 1,091,134.00
100	080505205020	Window demolition, window, up to a 2'x2' widow, remove and reset	Ea.	\$ 68.67	\$ 6,867.00
200	080505205040	Window demolition, window, up to a 3'x3' window, remove and reset	Ea.	\$ 103.21	\$ 20,642.00
200	080505205080	Window demolition, window, up to a 4'x5' window, remove and reset	Ea.	\$ 206.43	\$ 41,286.00
100	085113204100	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 3'-0" x 2'-0" opening, incl. frame and glazing	Ea.	\$ 1,544.23	\$ 154,423.00
200	085113204400	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 5'-0" x 3'-0" opening, incl. frame and glazing	Ea.	\$ 1,746.77	\$ 349,354.00
200	085113204700	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 8'-0" x 4'-0" opening, incl. frame and glazing	Ea.	\$ 2,592.81	\$ 518,562.00
					\$ -
	Glass				\$ -
		NONE INCLUDED			\$ -
	Lath and Plaster				\$ -
		NONE INCLUDED			\$ -
	Drywall	The unit gypsum board (drywall) was observed to be in fair to poor condition. The drywall as observed areas of cracking and separating due to foundational issues (settlement). Replacement of the plumbing pipes warranted removal of select areas (approximately 90% in total) of drywall is needed.			\$ 329,125.50
10,000	090170100100	Gypsum wallboard, repairs, fill and sand, pin / nail holes	Ea.	\$ 0.40	\$ 4,000.00
7,500	090170100110	Gypsum wallboard, repairs, fill and sand, screw head pops	Ea.	\$ 0.80	\$ 6,000.00
5,000	090170100120	Gypsum wallboard, repairs, fill and sand, dents, up to 2" square	Ea.	\$ 8.00	\$ 40,000.00
2,500	090170100130	Gypsum wallboard, repairs, fill and sand, dents, 2" to 4" square	Ea.	\$ 15.87	\$ 39,675.00
1,500	090170100140	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, up to 2" square	Ea.	\$ 32.07	\$ 48,105.00
500	090170100150	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 2" to 4" square	Ea.	\$ 34.89	\$ 17,445.00
300	090170100160	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 4" to 8" square	Ea.	\$ 38.60	\$ 11,580.00
100	090170100170	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 8" to 12" square	Ea.	\$ 48.33	\$ 4,833.00

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:		98,600
Project:	Hawk View		Net Leasable Square Feet:		86,500
Address:	1548 Steelwood Lane		Number of Units:		100
City, State:	Reno, NV		R.S. Means City Source:		Reno, NV (894-895)
			R.S. Means Year 2022 Quarter 2		Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100	090170100180	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 12" to 32" square	Ea.	\$ 65.41	\$ 6,541.00
50	090170100210	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 16" by 48"	Ea.	\$ 79.59	\$ 3,979.50
50	090170100220	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 32" by 48"	Ea.	\$ 100.25	\$ 5,012.50
25	090170100230	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 48" square	Ea.	\$ 115.47	\$ 2,886.75
25	090170100240	Gypsum wallboard, repairs, cut square, patch, sand and finish, holes, 60" square	Ea.	\$ 129.11	\$ 3,227.75
64,000	090170100500	Gypsum wallboard, repairs, skim coat surface with joint compound	S.F.	\$ 0.29	\$ 18,560.00
16,000	090170100510	Gypsum wallboard, repairs, prepare, retape and refinish joints	L.F.	\$ 7.33	\$ 117,280.00
100%	Ceramic Tile	The units ceramic tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new underlayment and ceramic tile is required.			\$ 47,703.53
425	092813100110	Cementitious backerboard, on floor, 3' x 5' x 5/8" sheet	S.F.	\$ 2.77	\$ 1,177.25
938	092813100190	Cementitious backerboard, on wall, 3' x 5' x 5/8" sheet	S.F.	\$ 3.55	\$ 3,328.13
1,703	093095100200	Membrane, elastomeric, moisture resistant, anti-fracture, 1/16" thick	S.F.	\$ 4.85	\$ 8,260.16
210	093213101200	Ceramic tile, sanitary cove base, mud set, 6" x 4-1/4" h	L.F.	\$ 9.39	\$ 1,971.90
25	093113101800	Ceramic bathroom accessories, average, (soap dish, toothbrush holder)	Ea.	\$ 17.20	\$ 430.00
210	093213102700	Ceramic tile, bullnose trim, mud set, 2" x 6"	S.F.	\$ 5.86	\$ 1,230.60
1,594	093213106250	Ceramic tile, walls, mud set, 6" x 6"	S.F.	\$ 16.64	\$ 26,520.00
425	093113103300	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	S.F.	\$ 11.26	\$ 4,785.50
					\$ -
	Acoustical				\$ -
		NONE INCLUDED		\$ -	\$ -
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600
Project:	Hawk View		Net Leasable Square Feet:	86,500
Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Wood Flooring				\$ -
		NONE INCLUDED		\$ -	\$ -
					\$ -
	Resilient Flooring	The units VCT tile flooring was observed to be in poor condition with areas of missing and damaged tiles. Select areas of VCT tile will be removed to access plumbing piping replacement and to correct settlement issues. Installation of new VCT tile is required.			\$ 667,646.10
42,550	096510103600	Latex underlayment, cementitious for resilient flooring, 1/8" thick	S.F.	\$ 2.61	\$ 111,055.50
3500	096513370240	Vinyl wheeled transition strip, various materials to resilient, 1/8" to 1/8" x 2-1/2"	L.F.	\$ 8.18	\$ 28,630.00
51,060	096519237600	Flooring, vinyl tile, premium colors/patterns, 12" x 12"x 1/8"	S.F.	\$ 8.36	\$ 426,861.60
32,300	096513131100	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	L.F.	\$ 3.13	\$ 101,099.00
					\$ -
	Painting	With removal of approximately 90% of drywall, complete painting of the walls and ceilings in the dwelling units is needed as well as window and door trim.			\$ 844,149.33
79,560	090190930790	Surface preparation, exterior, siding, stucco, pressure wash, based on 2500 lb operating pressure	S.F.	\$ 0.12	\$ 9,547.20
1,250	099113420310	Paints & coatings, misc. exterior, stair stringers, exterior, metal, roll & brush, zinc chromate, each coat, to 14"	L.F.	\$ 2.33	\$ 2,912.50
200	099113420190	Paints & coatings, misc. exterior, wrought iron railings, brushwork, zinc chromate, primer, 60" high, 1" rail, 1/2" sq. verticals, 6" OC	L.F.	\$ 5.35	\$ 1,070.00
200	099113420200	Paints & coatings, misc. exterior, wrought iron railings, brushwork, zinc chromate, 1 finish coat, 60" high, 1" rail, 1/2" sq. verticals, 6" OC	L.F.	\$ 6.21	\$ 1,242.00
300	099113700190	Paints & coatings, exterior doors, flush, both sides, roll & brush, primer + 2 coats, exterior latex, incl. frame & trim	Ea.	\$ 100.30	\$ 30,090.00
22,100	099113800120	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 4"	L.F.	\$ 0.57	\$ 12,597.00
11,050	099113800150	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 6" to 1" x 10"	L.F.	\$ 0.68	\$ 7,514.00
5,525	099113800180	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 12"	L.F.	\$ 0.68	\$ 3,757.00
20,719	099113800410	Paints & coatings, trim, exterior, molding, primer + 2 coats exterior latex, brushwork, up to 14" wide	L.F.	\$ 1.42	\$ 29,420.63
500	099123350400	Paints & coatings, interior latex, doors, panel, both sides, roll & brush, primer + 2 coats, incl. frame & trim	Ea.	\$ 145.45	\$ 72,725.00

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600	
Project:	Hawk View		Net Leasable Square Feet:	86,500	
Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
13,600	099123527400	Paints & coatings, miscellaneous interior, trim, wood, paint 2 coats, oil base, brushwork, under 6" wide	L.F.	\$ 1.04	\$ 14,144.00
76,200	099123721190	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 3 coats, smooth finish, cut-in by brushwork	L.F.	\$ 0.81	\$ 61,722.00
304,800	099123721670	Painting walls, complete, on drywall or plaster, primer and 2 finish coats, with roller, including surface preparation	S.F.	\$ 1.96	\$ 597,408.00
					\$ -
	Specialties				\$ -
		<i>NONE INCLUDED</i>			
	Special Equipment				\$ -
		<i>NONE INCLUDED</i>			\$ -
	Appliances	<i>Built-in and PHA-owned only are eligible</i>			\$ 45,607.00
100	113013194150	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	Ea.	\$ 456.07	\$ 45,607.00
					\$ -
	Cabinets	Removal and replacement of the unit kitchen cabinets and vanities based on gaining access to plumbing piping and age/condition (Fair/Poor).			\$ 1,050,112.95
1300	123223109600	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	L.F.	\$ 637.80	\$ 829,140.00
95	123223308100	Wood casework vanities, base, 2 door, 30" h x 21" d x 36" w	Ea.	\$ 597.01	\$ 56,715.95
1300	123623131000	Countertops, custom, plastic laminate, square edge, plastic face, 7/8" thick, includes backsplash	L.F.	\$ 90.65	\$ 117,845.00
600	123623131700	Countertops, for end splash, add	Ea.	\$ 35.75	\$ 21,450.00
300	123623132000	Countertops, for standard cutouts, add, maximum	Ea.	\$ 74.88	\$ 22,464.00
100	123623132020	Countertops, cut out for sink	Ea.	\$ 24.98	\$ 2,498.00
					\$ -
	Blinds, Shades & Art	<i>NOT ELIGIBLE PER PIH 2018-04</i>			\$ -
		<i>NONE INCLUDED</i>			\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600
Project:	Hawk View		Net Leasable Square Feet:	86,500
Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Carpets				\$ -
		<i>NONE INCLUDED</i>			\$ -
	Special Construction	Work noted below is needed after completion of the scope of work and work need for Section 504 and accessibility code compliance.			\$ 332,500.00
100	Final Cleaning	Apartment punch-out, cleaning, prelease procedures, historical costs	Ea.	\$ 2,500.00	\$ 250,000.00
2	Special Construction	ADA 2% Audio/Visual Upgrades for Hearing Impaired, historical costs	Ea.	\$ 3,750.00	\$ 7,500.00
5	Special Construction	Section 504 of Rehabilitation Act of 1973 complaince- 5% UFAS units.	Ea.	\$ 15,000.00	\$ 75,000.00
					\$ -
	Elevators				\$ -
		<i>NONE INCLUDED</i>			\$ -
					\$ -
100%	Plumbing & Hot Water	The plumbing lines on-site were observed to be in poor condition with the site reporting multiple issues of leaks and backups. In a majority of the inspected units, water damage due to plumbing leaks were observed on the ceiling of kitchen directly below the unit bathrooms. In several of units, water was observed to be infiltrating the bathroom subfloors and damaging the floor joists. Replacement of the water and waste lines is recommended. The property features individual 40-gallon gas water heaters of various ages (approximately 75% are 2003 and 25% are 2013/14). With plumbing piping replacement being performed, replacement of water heaters is recommended. The bathroom fixtures were observed to be in poor condition. Due to plumbing piping replacement and potential leaks, replacement is recommended.			\$ 1,798,456.45
100	220505101141	Fixture, steel tub/shower, selective demolition	Ea.	\$ 60.08	\$ 6,008.00
100	220505101221	Fixture, counter top lavatory, disconnect and remove	Ea.	\$ 18.82	\$ 1,882.00
100	220505101321	Fixture, sink, double compartment, selective demolition	Ea.	\$ 30.04	\$ 3,004.00
100	220505101400	Fixture, water closet, floor mounted, selective demolition, includes 10' piping	Ea.	\$ 54.87	\$ 5,487.00
100	220505102001	Pipe, metal pipe, to 1-1/2" diam., selective demolition	L.F.	\$ 1.50	\$ 150.00
100	220505102051	Pipe, metal pipe, 2" to 3-1/2" diam., selective demolition	L.F.	\$ 1.99	\$ 199.00
100	220505102101	Pipe, metal pipe, 4" to 6" diam., selective demolition	L.F.	\$ 3.00	\$ 300.00
100	220505102160	Pipe, plastic, with fittings, up thru 1-1/2" diameter, selective demolition	L.F.	\$ 1.75	\$ 175.00
100	220505102162	Pipe, plastic, with fittings, 2" thru 3" diameter, selective demolition	L.F.	\$ 2.19	\$ 219.00

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Address:	1548 Steelwood Lane		Number of Units:	100
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100	220505102164	Pipe, plastic, with fittings, 4" thru 6" diameter, selective demolition	L.F.	\$ 3.94	\$ 394.00
100	220505106100	Fixture, plumbing, remove and reset fixtures, difficult access	Ea.	\$ 109.74	\$ 10,974.00
5	220576100100	Cleanout, floor type, round or square, scoriated nickel bronze top, 2" pipe size	Ea.	\$ 616.32	\$ 3,081.60
5	220576200220	Cleanout tee, cast iron, B. & S., 3" pipe size, includes countersunk plug	Ea.	\$ 407.52	\$ 2,037.60
5	220576200240	Cleanout tee, cast iron, B. & S., 4" pipe size, includes countersunk plug	Ea.	\$ 563.89	\$ 2,819.45
5	220576204020	Cleanout tee, plastic tee, ABS, 1-1/2" pipe size, type DWV, excludes plug	Ea.	\$ 63.26	\$ 316.30
100	221113741860	Pipe, plastic, PVC, 1/2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 16.36	\$ 1,636.00
100	221113741870	Pipe, plastic, PVC, 3/4" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 17.45	\$ 1,745.00
100	221113741880	Pipe, plastic, PVC, 1" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 17.58	\$ 1,758.00
100	221113741890	Pipe, plastic, PVC, 1-1/4" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 20.17	\$ 2,017.00
100	221113741900	Pipe, plastic, PVC, 1-1/2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 23.75	\$ 2,375.00
100	221113741910	Pipe, plastic, PVC, 2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 27.78	\$ 2,778.00
100	221113741920	Pipe, plastic, PVC, 2-1/2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 35.70	\$ 3,570.00
100	221113741930	Pipe, plastic, PVC, 3" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 41.91	\$ 4,191.00
100	221113741940	Pipe, plastic, PVC, 4" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 35.29	\$ 3,529.00
100	221113744214	Pipe, plastic, ABS, foam core, 1-1/2" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 15.59	\$ 1,559.00
100	221113744216	Pipe, plastic, ABS, foam core, 2" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 17.89	\$ 1,789.00
100	221113744218	Pipe, plastic, ABS, foam core, 3" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 23.34	\$ 2,334.00
100	221113744220	Pipe, plastic, ABS, foam core, 4" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 28.92	\$ 2,892.00
100	221113744222	Pipe, plastic, ABS, foam core, 6" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 54.11	\$ 5,411.00
100	221113744410	Pipe, plastic, PVC, 1-1/4" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 18.11	\$ 1,811.00
100	221113744420	Pipe, plastic, PVC, 1-1/2" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 18.63	\$ 1,863.00

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Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100	221113744460	Pipe, plastic, PVC, 2" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 21.42	\$ 2,142.00
100	221113744470	Pipe, plastic, PVC, 3" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 25.61	\$ 2,561.00
100	221113744480	Pipe, plastic, PVC, 4" diameter, DWV, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	L.F.	\$ 31.35	\$ 3,135.00
100	221316204100	Pipe, cast iron soil, no hub, 1-1/2" diameter, includes couplings 10' OC, clevis hanger assemblies 5' OC	L.F.	\$ 22.26	\$ 2,226.00
100	221316204120	Pipe, cast iron soil, no hub, 2" diameter, includes couplings 10' OC, clevis hanger assemblies 5' OC	L.F.	\$ 23.53	\$ 2,353.00
100	221316204140	Pipe, cast iron soil, no hub, 3" diameter, includes couplings 10' OC, clevis hanger assemblies 5' OC	L.F.	\$ 27.50	\$ 2,750.00
100	221316204160	Pipe, cast iron soil, no hub, 4" diameter, includes couplings 10' OC, clevis hanger assemblies 5' OC	L.F.	\$ 33.57	\$ 3,357.00
100	220719100245	Insulation, insulated protectors (ADA), for exposed piping under sinks or lavatories, vinyl coated foam, velcro tabs, p trap, 1-1/4" or 1-1/2"	Ea.	\$ 35.02	\$ 3,502.00
100	220719100265	Insulation, insulated protectors (ADA), for exposed piping under sinks or lavatories, vinyl coated foam, velcro tabs, valve and supply cover, 1/2", 3/8", and 7/16" pipe size	Ea.	\$ 34.68	\$ 3,468.00
100	220719100285	Insulation, insulated protectors (ADA), for exposed piping under sinks or lavatories, vinyl coated foam, velcro tabs, tailpiece offset (wheelchair), 1-1/4" pipe size	Ea.	\$ 31.11	\$ 3,111.00
100	220719106840	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1" wall, 1/2" iron pipe size	L.F.	\$ 6.84	\$ 684.00
100	220719106860	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1" wall, 3/4" iron pipe size	L.F.	\$ 4.64	\$ 464.00
100	220719106870	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1" wall, 1" iron pipe size	L.F.	\$ 6.31	\$ 631.00
100	220719106900	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1" wall, 2" iron pipe size	L.F.	\$ 7.40	\$ 740.00
100	221119382080	Water supply meter, domestic/commercial, bronze, threaded, to 30 GPM, 3/4" diameter	Ea.	\$ 507.89	\$ 50,789.00
100	221119424120	Backflow preventer, reduced pressure principle, corrosion resistant, automatic, ball valves, threaded, 3/4" pipe size, includes valves and test cocks	Ea.	\$ 751.06	\$ 75,106.00
50	223430132900	Water heater, safety-drain pan, 26" diameter	Ea.	\$ 57.92	\$ 2,896.00
50	223430132100	Water heater, residential, gas fired, foam lined tank, 10 year, 75 gallon, excludes vent	Ea.	\$ 2,091.80	\$ 104,590.00
50	223413109440	Water heaters, tankless, on-demand, natural gas/propane, 9.5 GPM, excludes vent	Ea.	\$ 1,622.43	\$ 81,121.50
100	0824032	Three fixture bathroom with lavatory installed in vanity	Ea.	\$ 8,314.96	\$ 831,496.00
100	224116131160	Lavatory, vanity top, cultured marble, white, single bowl, 37" x 22", includes trim	Ea.	\$ 450.41	\$ 45,041.00
100	224116133580	Lavatory, vanity top, rough-in, supply, waste and vent	Ea.	\$ 1,109.05	\$ 110,905.00

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Address:	1548 Steelwood Lane		Number of Units:		100
City, State:	Reno, NV		R.S. Means City Source:		Reno, NV (894-895)
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):		Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100	224116164980	Sink, kitchen, counter top style, rough-in, supply, waste and vent	Ea.	\$ 1,038.89	\$ 103,889.00
100	224139100420	Faucets/fittings, bath, pressure balance mix valve with diverter, spout, shower head, arm and flange	Ea.	\$ 323.16	\$ 32,316.00
100	224139100500	Faucets/fittings, bath, drain, central lift, 1-1/2" I.P.S. male	Ea.	\$ 93.21	\$ 9,321.00
100	224139101000	Faucets/fittings, kitchen sink faucets, top mount, cast spout	Ea.	\$ 151.30	\$ 15,130.00
100	224139101100	Faucets/fittings, kitchen sink faucets, top mount, cast spout, for spray, add	Ea.	\$ 41.47	\$ 4,147.00
100	224139102120	Faucets/fittings, lavatory faucet, center set with pop-up drain	Ea.	\$ 177.42	\$ 17,742.00
100	224139104250	Faucets/fittings, shower pressure balancing mixing valve, satin nickel, with shower head, arm, flange and diverter tub spout	Ea.	\$ 806.83	\$ 80,683.00
100	224139701030	Washer dryer accessories, valves ball type single lever, I.P.S., 1/2" diam.	Ea.	\$ 90.83	\$ 9,083.00
100	224139701350	Washer dryer accessories, recessed box, two hose valves and drain (economy type), 20 gauge, 1/2" size, 2" ABS/PVC drain	Ea.	\$ 209.19	\$ 20,919.00
100	224139701980	Washer dryer accessories, rough-in, supply, waste and vent for washer boxes	Ea.	\$ 938.53	\$ 93,853.00
					\$ -

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Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR	
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100%	Heat & Ventilation	The units feature gas-fired furnaces for heat and outdoor condensing units with replacement on an as-needed basis. Select components were observed in various conditions (some appear to be in disrepair/not functioning properly. Replacement of the furnaces, condensers, thermostats and select ductwork is recommended. The dwelling units feature bathroom exhaust fans that were reported to be original to the date of construction (1984) and in various operating conditions. Replacement of the fans and ducting is recommended.			\$ 551,516.50
50	230505100100	Air conditioner, split unit air conditioner, 3 ton, selective demolition	Ea.	\$ 604.76	\$ 30,238.00
250	230505105090	Handling & disposal, remove refrigerant from system	Lb.	\$ 16.82	\$ 4,205.00
50	237313100900	Air-handling unit, built-up, horizontal/vertical, constant volume, single zone, 1,600 CFM, with cooling/heating coil section, filters, mixing box	Ea.	\$ 7,051.10	\$ 352,555.00
50	238143101020	Heat pump, air to air split system, 2 ton cooling, 8.5 MBH heat @ 0Deg.F, includes outside condensing unit only, excludes interconnecting tubing, curbs, pads and ductwork	Ea.	\$ 2,356.85	\$ 117,842.50
50	260590109530	Thermostat, residential, hook-up, using low voltage wire, heating/cooling, 25' of #18-4	Ea.	\$ 49.76	\$ 2,488.00
100	233423106670	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	Ea.	\$ 246.35	\$ 24,635.00
100	233423106948	Fans, residential roof jacks and wall caps, wall cap with back draft damper, 6" diam. round duct	Ea.	\$ 195.53	\$ 19,553.00
					\$ -
50%	Air Conditioning	<i>INCLUDED WITH HEAT & VENTILATION ABOVE</i>			\$ -
		<i>NO STAND ALONE A/C INCLUDED</i>			\$ -
					\$ -

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			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):	Residential/DBWR
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100%	Electrical	Apartment units' circuit breaker panels and electrical devices require 3-year modernization. Select electrical devices were observed to be original to the date of construction and therefore, replacement in conjunction with the panel replacement is recommended. Based on observations during the inspection, select fixtures were broken, non-operational, missing. Replacement of lighting fixtures is recommended.			\$ 1,015,746.50
4,325	260505102600	Electrical make-safe mechanical demolition	S.F.	\$ 0.50	\$ 2,162.50
200	260505102620	Incandescent fixtures, exterior, 100 Watt, electrical demolition, remove, wall mount	Ea.	\$ 20.21	\$ 4,042.00
200	260505103000	Ceiling fan, electrical demolition, tear out and remove	Ea.	\$ 21.10	\$ 4,220.00
800	260505102480	Incandescent fixtures, interior, metal cylinder type, 75 Watt, electrical demolition, remove, surface, ceiling, or wall mount, to 10' high	Ea.	\$ 16.48	\$ 13,184.00
100	260505101230	Panelboards, 3 wire, 120/240 V, 100 amp, 20 circuits, electrical demolition, remove, including removal of all breakers, conduit terminations & wire connections	Ea.	\$ 196.66	\$ 19,666.00
100	260590101230	Service & panel, residential, w/18 branch breakers, w/RGS conduit & wire, 200 amp, incl 24' SE-AL cable, service eye, meter socket	Ea.	\$ 3,285.67	\$ 328,567.00
1,200	260590102120	Switch devices, residential, single pole, ivory, type MC cable, 20', 15 amp, incl box & cover plate	Ea.	\$ 65.49	\$ 78,588.00
100	260590102170	Switch devices, residential, 3-way, #14/3, type MC cable, 20', incl box & cover plate	Ea.	\$ 80.73	\$ 8,073.00
100	260590102220	Switch devices, residential, 4-way, #14/3, type MC cable, 20', incl box & cover plate	Ea.	\$ 90.59	\$ 9,059.00
300	260590102270	Switch devices, residential, single pole, #12/2, type MC cable, 20', 20 amp, incl box & cover plate	Ea.	\$ 79.56	\$ 23,868.00
1,000	260590104070	Receptacle devices, residential, duplex outlet, ivory, w/#12/2, type MC cable, 20', 15 amp, incl box & cover plate	Ea.	\$ 79.46	\$ 79,460.00
800	260590104120	Receptacle devices, residential, duplex outlet, ivory, w/#12/2, type MC cable, 20', 20 amp, incl box & cover plate	Ea.	\$ 95.47	\$ 76,376.00
100	260590104580	Air conditioner outlet, residential, 30' of #12/2, 2 pole circuit breaker, type MC cable, 20 amp, 240 V, incl box & exterior cover plate	Ea.	\$ 169.91	\$ 16,991.00
100	260590104680	Dryer outlet, residential, 30' of #10/3, 2 pole circuit breaker, type MC cable, 30 amp, 240 V, incl box & exterior cover plate	Ea.	\$ 176.82	\$ 17,682.00
100	260590104980	Door bell chime, residential, transformer, 2 buttons, custom model, 60' bellwire	Ea.	\$ 182.43	\$ 18,243.00
100	260590106120	Lighting outlets, residential, box 4" & wire (for fixture), type MC cable, 20'	Ea.	\$ 54.54	\$ 5,454.00
100	260590106220	Light fixtures, residential, canopy style, custom grade	Ea.	\$ 89.75	\$ 8,975.00
100	260590106320	Light fixtures, residential, kitchen fixture (fluorescent), custom grade	Ea.	\$ 318.35	\$ 31,835.00
200	260590106360	Light fixtures, residential, outdoor, wall mounted, custom grade	Ea.	\$ 185.80	\$ 37,160.00

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Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
100	260590106610	Light fixtures, residential, downlight, w/shower light trim, recessed	Ea.	\$ 118.04	\$ 11,804.00
300	260590107070	Smoke detectors, residential, box, #14/3, type MC cable, 20'	Ea.	\$ 97.98	\$ 29,394.00
100	260590108280	Bathroom vent fan, residential, hook-up, (use w/above hook-up), custom model, 50 CFM	Ea.	\$ 199.12	\$ 19,912.00
100	260590108320	Bathroom or kitchen vent fan, residential, low noise model, 110 CFM	Ea.	\$ 180.73	\$ 18,073.00
100	260590108670	Hot water heater, residential, hook-up, #10/2, MC cable, 20', incl 1-2 pole circuit breaker, box, 3' of flexible	Ea.	\$ 180.98	\$ 18,098.00
100	265113550100	Interior LED fixtures, downlight, recess mounted, 25 watt, 7.5" diameter, incl lamps, mounting hardware and connections	Ea.	\$ 538.08	\$ 53,808.00
100	265113550180	Interior LED fixtures, downlight, cylinder, 20 watts, incl lamps, mounting hardware and connections	Ea.	\$ 184.50	\$ 18,450.00
100	265113552010	Interior LED fixtures, strip, surface mounted, 5,000 K, one light bar 4' long, incl lamps, mounting hardware and connections	Ea.	\$ 432.13	\$ 43,213.00
100	265113555000	Interior LED fixtures, track, lighthead, 6 watt	Ea.	\$ 91.71	\$ 9,171.00
100	265113555010	Interior LED fixtures, track, lighthead, 9 watt	Ea.	\$ 102.18	\$ 10,218.00
					\$ -
	Subtotal (Structures)				\$ 11,956,877.99
				\$ -	\$ -

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			R.S. Means Year 2022 Quarter 2		Labor Type (Standard or Union):
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Accessory Structures				\$ -
		<i>NOT ALLOWED PER PIH 2018-04</i>		\$ -	\$ -
	Total (Lines 33 and 34)				\$ 11,956,877.99
	Earthwork	Work outlined below is needed for access to perform corrections to settlement issues and plumbing piping replacement and occurs within the five foot (5') perimeter outside the edge of the foundation. Other work noted is to restore disturbed areas.			\$ 67,825.25
100	310516100100	Aggregate for earthwork, bank run gravel, spread with 200 HP dozer, includes load at pit and haul, 2 miles round trip, excludes compaction	L.C.Y.	\$ 34.50	\$ 3,450.00
2200	311413231510	Topsoil stripping and stockpiling, loam or topsoil, remove and stockpile on site, by hand, less than 100 S.Y., 6" deep, 50' haul	S.Y.	\$ 10.74	\$ 23,628.00
7000	312216101200	Fine grading, fine grade granular base for sidewalks and bikeways	S.Y.	\$ 1.20	\$ 8,400.00
9200	312216103300	Fine grading, slopes, gentle, finish grading	S.Y.	\$ 0.19	\$ 1,748.00
125	312316131400	Excavating, trench or continuous footing, common earth, by hand with pick and shovel, 2' to 6' deep, light soil, excludes sheeting or dewatering	B.C.Y.	\$ 43.85	\$ 5,481.25
125	312316131500	Excavating, trench or continuous footing, common earth, by hand with pick and shovel, 2' to 6' deep, heavy soil, excludes sheeting or dewatering	B.C.Y.	\$ 87.24	\$ 10,905.00
2500	312514161000	Synthetic erosion control, silt fence, install and remove, 3' high	L.F.	\$ 2.45	\$ 6,125.00
100	312514161625	Erosion control, silt Sac for Catch Basin, Single, 2ft x 2ft	L.F.	\$ 80.88	\$ 8,088.00

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			R.S. Means Year 2022 Quarter 2	Labor Type (Standard or Union):

Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Exterior Improvements	Work outlined below is needed for access to perform corrections to settlement issues and plumbing piping replacement and occurs within the five foot (5') perimeter outside the edge of the foundation. Other work noted is to restore disturbed areas.			\$ 193,182.25
5000	024113175700	Demolish, remove pavement & curb, patio/carport, concrete, no reinforcing, to 6" thick, with hand held air equipment, excludes hauling	S.F.	\$ 1.56	\$ 7,800.00
2000	024113175900	Demolish, remove pavement & curb, sidewalk, concrete, rod reinforced, 6" thick, with hand held air equipment, excludes hauling	S.F.	\$ 3.24	\$ 6,480.00
2000	320610100310	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 4" thick, excludes base	S.F.	\$ 4.90	\$ 9,800.00
5000	320610100400	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 6" thick, excludes base	S.F.	\$ 6.51	\$ 32,550.00
7000	320610100450	Sidewalks, driveways, and patios, sidewalks, concrete, excludes base, for 4" thick bank run gravel base, add	S.F.	\$ 1.11	\$ 7,770.00
625	323113250100	Fence, chain link, residential, galvanized steel, 11 ga. wire, 1-5/8" post, 10' OC, 1-3/8" top rail, 2" corner post, 6' high, schedule 20, includes excavation, excludes concrete	L.F.	\$ 28.71	\$ 17,943.75
25	323113800110	Chain link fence, gates, residential, single, 4', includes concrete, hinges, latch and post hardware	Ea.	\$ 521.72	\$ 13,043.00
82800	329119130801	Topsoil placement and grading, loam or topsoil unscreened, 6" deep, furnish and place, truck dumped	S.F.	\$ 0.62	\$ 51,336.00
375	329313100900	Ground cover, pea gravel, truckload lots	Ton	\$ 51.34	\$ 19,252.50
50	329313100012	Ground cover, plants, pachysandra, excludes preparation of beds	C	\$ 167.57	\$ 8,378.50
50	329313100200	Ground cover, plants, Vinca minor, 1 year, bare root, excludes preparation of beds	C	\$ 176.58	\$ 8,829.00
50	329333100600	Shrubs and trees, evergreen, in prepared beds, juniper, andorra, B&B, 18" - 24", in prepared beds	Ea.	\$ 62.16	\$ 3,108.00
50	329333100700	Shrubs and trees, evergreen, in prepared beds, pine, black, B&B, 2-1/2' - 3', in prepared beds	Ea.	\$ 66.64	\$ 3,332.00
50	329450101100	Tree guying, guy wire and wrap, less than 3" caliper, 3" anchors, includes arrowhead anchor, cable, turnbuckles and wrap	Ea.	\$ 71.19	\$ 3,559.50
					\$ -

Date:	04/21/2023	Substantial Rehabilitation Estimate 2-story Wood-frame Multifamily Walk-up Apartment Buildings	Gross Square Feet:	98,600	
Project:	Hawk View		Net Leasable Square Feet:	86,500	
Address:	1548 Steelwood Lane		Number of Units:	100	
City, State:	Reno, NV		R.S. Means City Source:	Reno, NV (894-895)	
R.S. Means Year 2022 Quarter 2			Labor Type (Standard or Union):	Residential/DBWR	
Quantity	Line Item No.	R.S. Means Line Item Description	Unit	Unit Cost	Total
	Utilities				\$ -
		<i>NONE INCLUDED</i>			\$ -
		Land Improvements Hard Cost Subtotal:			\$ 261,007.50
		Structure(s) and Land Improvements Hard Cost Subtotal			\$ 12,217,885.49
		Soft Costs and Fees			
		Contingency	7.50%		\$ 916,341.41
		General Conditions	5.00%		\$ 610,894.27
		Builder's Profit & Overhead	10.00%		\$ 294,348.05
		Architectural Design Fees	5.50%		\$ 671,983.70
		Payment/Performance Bond Fee	0.00%		\$ -
		PHA Administration Fee	2.00%		\$ 244,357.71
		Subtotal Soft Costs and Fees	30.00%		\$ 2,737,925.14
		TOTAL REHABILITATION / RETROFIT CONSTRUCTION COST BUDGET:			\$ 14,955,810.63
		HUD TOTAL DEVELOPMENT COST (TDC):			\$ 24,499,200.00
		TOTAL REHABILITATION ESTIMATE / TDC COST:			61.05%

APPENDIX G

USGS Seismic Design Map



Hawk View Apartments

1548 Steelwood Ln, Reno, NV 89512, USA

Latitude, Longitude: 39.5542233, -119.7934475



Date	6/1/2022, 9:34:19 AM
Design Code Reference Document	ASCE41-13
Custom Probability	
Site Class	A - Hard Rock

Type	Description	Value
Hazard Level		BSE-2N
S _s	spectral response (0.2 s)	1.5
S ₁	spectral response (1.0 s)	0.515
S _{XS}	site-modified spectral response (0.2 s)	1.2
S _{X1}	site-modified spectral response (1.0 s)	0.412
F _a	site amplification factor (0.2 s)	0.8
F _v	site amplification factor (1.0 s)	0.8
ssuh	max direction uniform hazard (0.2 s)	1.61
crs	coefficient of risk (0.2 s)	0.951
ssrt	risk-targeted hazard (0.2 s)	1.531
ssd	deterministic hazard (0.2 s)	1.5
s1uh	max direction uniform hazard (1.0 s)	0.544
cr1	coefficient of risk (1.0 s)	0.945
s1rt	risk-targeted hazard (1.0 s)	0.515
s1d	deterministic hazard (1.0 s)	0.6

Type	Description	Value
Hazard Level		BSE-1N
S _{XS}	site-modified spectral response (0.2 s)	0.8
S _{X1}	site-modified spectral response (1.0 s)	0.275

Type	Description	Value
Hazard Level		BSE-2E
S_S	spectral response (0.2 s)	1.133
S_1	spectral response (1.0 s)	0.375
S_{XS}	site-modified spectral response (0.2 s)	0.907
S_{X1}	site-modified spectral response (1.0 s)	0.3
f_a	site amplification factor (0.2 s)	0.8
f_v	site amplification factor (1.0 s)	0.8

Type	Description	Value
Hazard Level		BSE-1E
S_S	spectral response (0.2 s)	0.553
S_1	spectral response (1.0 s)	0.179
S_{XS}	site-modified spectral response (0.2 s)	0.442
S_{X1}	site-modified spectral response (1.0 s)	0.143
F_a	site amplification factor (0.2 s)	0.8
F_v	site amplification factor (1.0 s)	0.8

Type	Description	Value
Hazard Level		TL Data
T-Sub-L	Long-period transition period in seconds	6

DISCLAIMER

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APPENDIX H

Pre-Site Visit Questionnaire



HUD CNA PRE-SURVEY QUESTIONNAIRE (MF)

GENERAL INSPECTION INFORMATION

PER HUD GUIDANCE, AEI MUST BE ALLOWED ACCESS INTO 25% OF EACH DWELLING UNIT FLOORPLAN, AS WELL AS ALL COMMON AREAS, AND EXTERIORS AT THE SITE.

GENERAL PROPERTY INFORMATION

PROPERTY NAME:	Hawk View Apartments							
SITE ADDRESS:	1548 Steelwood Ln			CITY	Reno		STATE	NV
Number of Apt Buildings:	25	Date of Construction:	1984		Number of Units:	100		
Number of Common Buildings:	3	Renovation Date(s):	1996-99, 2001-12, 2014-15, 2017-20		Number of Vacant Units:	3		
Number of Stories:	2	Gross Building Area:	14.3		Number of Down Units:	0		
Site Area in Acres:	acres	Total Number of Parking Spaces:	100		Number of HC Parking Spaces:	5		

GENERAL PROPERTY INFORMATION

Please describe all pertinent building maintenance, renovation, seismic, and upgrade work within the last 3 years. If available, please attached supporting documentation, i.e. work orders, receipts, etc.:

Concrete Replacement, Retaining Wall Repair, Asphalt Replacement, Appliance Replacement

Please describe any ongoing/current major building maintenance, renovation, seismic, and upgrade work:
N/A

Please describe any future building maintenance, renovation, seismic, and upgrade work being planned:
(CF2020) Multi-Site Water Heater Replacement

Please list the designated handicapped dwelling units:
2519 Tripp#3, 2541 Tripp#1, 1548 Steelwood#1, 1544 Steelwood#3, 1504 Steelwood#1

Please list all major vendors servicing the Property (If addition provided, please attach separate sheet):

Vendor Name			Phone No.			Vendor Name			Phone No.		
Roofing	?	?	Painting	JF Painting	775-690-3209		Painting	JF Painting	775-690-3209		
Elevator	TK Elevator	888-952-9647	HVAC	Gardner Mech	775-329-4133		HVAC	Gardner Mech	775-329-4133		
Fire Protection	Summit Fire	775-900-9209	Plumbing	Michael's Plumbing	775-355-1611		Plumbing	Michael's Plumbing	775-355-1611		
Electrician	Merit Electric	775-853-3444	Trash Disposal	Waste Management	775-329-8822		Trash Disposal	Waste Management	775-329-8822		
Landscaping	T&T Lawns	775-424-4168	Security System	All Pro Security	775-284-3644		Security System	All Pro Security	775-284-3644		

Please list all utility providers for the Property:

Domestic Water	TMWA	Gas/ Oil/ Other	NV Energy
Sanitary Sewer	City of Reno	Electricity	NV Energy
Storm Drainage	City of Reno	Steam	N/A

Please provide information regarding current unit mix:

Unit Type:	Occupied	Vacant	Down	Unit Type:	Occupied	Vacant	Down
Studio				3 Bedroom/ 1.5 Bathroom			
1 Bedroom/ 1 Bathroom				3 Bedroom/ 2 Bathroom			



1 Bedroom/ 1 ½ Bath				4 Bedroom/ 1 Bathroom			
2 Bedroom/ 1 Bath	97	3		Model Unit/Manager Unit			
2 Bedroom/ 1 ½ Bath							

QUESTIONNAIRE	YES	NO	UNKNOWN
<i>Note to Field Observer: Answers should be verified during site interview and field observations. A YES answer should be followed up thoroughly and documented if issues are present.</i>			
Are you aware of any violations the property has been cited for? (If Yes, attach citation)		X	
Does the property feature Section 8 project based assistance?		X	
Does the property accept Section 8 vouchers?		X	
Was an "Accessibility Survey" ever conducted on the property? (If Yes, please attach a copy)			
Have any accessibility improvements been made to the Property or does a Barrier Removal Plan exist for the Property?			
Are there any unresolved accessibility related complaints or pending litigation?			
Is a tenant monthly fee charged for common area maintenance (CAM)?			
Does the Property experience any site drainage, ground water or flooding problems?			
Is the amount of on-site parking provided inadequate?			
Is there damaged or nonoperational site lighting?			
Are the utilities (water, sewer, gas, electric) inadequate to meet needs of the tenants?			
Does the Property have any structural issue such as settlement, cracking or deflection?			
Has the Property experienced any fire related or seismic damage?			
Does the Property exhibit any water/ moisture infiltration?			
Does the Property exhibit any sewer backups?			
Does the Property have any leakage or failures at the roof, walls or cellar?			
Is fire retardant plywood (FRT) installed anywhere in the structure(s)?			
Are any portions of the facades covered with EIFS (synthetic stucco or Dryvit)?			
Any problems regarding synthetic stucco or EIFS?			
Roof is inaccessible with no on-site OSHA approved ladder or roof hatch?			
Are the HVAC systems inadequate and/or non-functioning?			
Are there any plumbing leaks or prevalent past leaks?			
Are there any water pressure issues at any time?			
Is galvanized or polybutylene "gray" piping present anywhere in the Property?			
Has any active or historical leaks related to galvanized or polybutylene piping occurred?			
Has retrofitting or replacement of galvanized or polybutylene piping taken place?			
Are there any electrical problems or inadequate electrical service?			
Electrical amperage to each unit is less than 60-amps?			
Is aluminum branch wiring present anywhere in the Property?			
If aluminum branch wiring is present, has retrofitting been performed?			
Are there any screw-in fuses present in the Property?			
Are there kitchens and bathrooms that are not equipped with GFI's/GFCI's?			
Are there any elevator or escalator shutdowns or deemed out of service?			
Are there elevators present not regularly serviced under a full-service maintenance contract?			
Are there fire sprinkler systems present and not regularly serviced and tested?			
Are there fire alarm and detection devices not regularly serviced and tested?			
Is common area interior painting performed as part of routine maintenance?			
Is there any mold or microbial growth at the Property?			
Have any tenants or occupants complained about mold or microbial growth at the Property?			
Is there a current formal indoor air quality management plan at the Property?			
Are there any water leaks or damage at the Property?			
Please indicate when the following systems have been last inspected:			
Fire Sprinkler _____	Elevators/ Escalators _____		
Fire Alarm _____	Facades _____		



REPLACEMENT/ REPAIR HISTORY

Please list the approximate age (in years) of the following, as applicable:
 (Indicate "NA" if tenant-owned or not applicable; indicate "ORIG", if from original building construction. If applicable, give an estimated range, i.e. approx. 50% are 3 yrs. in age, 25% are 10 yrs. in age, etc. – please attach additional pages for comments/ clarifications.

Paving: _____ Yrs.	Sealant/Striping: _____ Yrs.	Exterior Lighting: _____ Yrs.
Landscaping: _____ Yrs.	Irrigation System: _____ Yrs.	Building Signage: _____ Yrs.
Pool Deck: _____ Yrs.	Pool Surfaces: _____ Yrs.	Other _____: _____ Yrs.
Masonry Pointing: _____ Yrs.	Exterior Paint: _____ Yrs.	EIFS: _____ Yrs.
Windows: _____ Yrs.	Doors: _____ Yrs.	Building Sealants: _____ Yrs.
Roofing: _____ Yrs.	Other Roofing: _____ Yrs.	Skylights: _____ Yrs.
HVAC (_____): _____ Yrs.	HVAC (_____): _____ Yrs.	HVAC (_____): _____ Yrs.
Electric Service: _____ Yrs.	Emergency Generator: _____ Yrs.	Water Lines: _____ Yrs.
Water Pumps: _____ Yrs.	Water Heaters: _____ Yrs.	Sewer Lines _____ Yrs.
Elevator Finishes: _____ Yrs.	Elevator Controller: _____ Yrs.	Elevator Machinery: _____ Yrs.
Escalators: _____ Yrs.	Fire Pump: _____ Yrs.	Central Fire Alarm Panel: _____ Yrs.
Common Areas: _____ Yrs.	Unit Finishes: _____ Yrs.	Unit Appliances: _____ Yrs.

DOCUMENT REVIEW

Please provide us with the following documents prior to our site visit, indicating the availability of each. This documentation may be included as an exhibit within the Property Condition Assessment.

	Available On-site	Available Attached	Not Available
Site Plan and ALTA Survey			
Certificate of Occupancy			
Copy of Open Building Permits or Code Violations			
Copy of Zoning Variances or Easements			
Rent Roll (with unit number, tenant name, unit area and occupancy %)			
Reduced Floor Plans			
Original construction documents (core and shell)			
List of Mechanical Equipment			
List of Capital expenditures for last 5 years			
List of Planned Capital expenditures			
Local Law #11 Façade Inspection Reports (NYC)			
Roof survey and warranty			
Service reports and inspection certificates for (elevator, escalator, HVAC, electrical generator, fire alarm and sprinkler)			
ADA Survey or Barrier Removal Plan			
Previously prepared Property Condition Report or engineering studies			

Interviewee / Title:		Date:	
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APPENDIX I

Record of all Documents Reviewed, Interviews, and Supporting Information

HAWK VIEW APARTMENTS FOUNDATION STABILIZATION



Revision Schedule	No.	Description	Date

MSE
McELHANEY STRUCTURAL ENGINEERS, LLC
290 BRINKBY AVE, SUITE #205
RENO, NV 89509
phone: 775.853.5525
www.mcelhaneystructural.com

PRELIMINARY
NOT FOR CONSTRUCTION

11/24/2020
Project Status

GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE INTENTIONS OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS AS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND IS TO CONTACT ENGINEER PRIOR TO PROCEEDING WITH WORK IF DISCREPANCIES OR UNANTICIPATED CONDITIONS ARE FOUND.
- DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING DIMENSIONS SHOULD BE DIRECTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- NOTES REPRESENT ITEMS OF WORK TO BE ACCOMPLISHED AT EACH LOCATION OF THE ITEM THROUGHOUT THE SITE, BUILDING OR PROJECT LIMITS.
- BEFORE SUBMITTING A BID, EACH BIDDER SHALL CAREFULLY EXAMINE THE DRAWINGS, READ THE SPECIFICATIONS AND ALL OTHER PROPOSED CONTRACT DOCUMENTS AND VISIT THE SITE OF THE WORK. EACH BIDDER SHALL FULLY INFORM HIM/HERSELF PRIOR TO BIDDING AS TO ALL EXISTING CONDITIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND HE SHALL INCLUDE IN HIS BID A SUM TO COVER ALL COSTS OF ALL ITEMS NECESSARY TO PERFORM THE WORK AS SET FORTH IN THE PROPOSED CONTRACT DOCUMENTS. NO ALLOWANCE WILL BE MADE TO ANY BIDDER BECAUSE OF LACK OF SUCH EXAMINATION OR KNOWLEDGE. THE SUBMISSION OF A BID WILL BE CONSTRUED AS CONCLUSIVE EVIDENCE THAT THE BIDDER HAS MADE SUCH EXAMINATION.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER, WITH INFORMATION FURNISHED BY THE OWNER, WITH EXISTING CONDITIONS AND SHALL AT ONCE REPORT TO THE ENGINEER ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE, UNIFORM PLUMBING CODE, CALIFORNIA ELECTRICAL CODE AND OTHER RELATED LOCAL CODES, ORDINANCES AND STATE STATUTES.
- COORDINATION: COORDINATE VARIOUS CONSTRUCTION ACTIVITIES TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.
- INSPECTION OF CONDITIONS: THE INSTALLER OF EACH COMPONENT SHALL INSPECT THE SUBSTRATE AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- MANUFACTURER'S INSTRUCTIONS: COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS, TO THE EXTENT THAT THEY ARE MORE STRINGENT THAN REQUIREMENTS CONTAINED IN THE CONTRACT DOCUMENTS.
- INSPECT MATERIAL AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.
- PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK. SECURE EACH WORK TRUE TO LINE AND LEVEL.
- INSTALL EACH COMPONENT DURING WEATHER CONDITIONS AND PROJECT STATUS THAT WILL ENSURE THE BEST RESULTS. ISOLATE EACH PART FROM INCOMPATIBLE MATERIAL AS NECESSARY TO PREVENT DETERIORATION.
- CLEANING AND PROTECTION DURING HANDLING AND INSTALLATION: CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. APPLY PROTECTIVE COVERINGS WHERE REQUIRED TO INSURE PROTECTION FROM DAMAGE OR DETERIORATION. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS OFTEN AS NECESSARY THROUGH THE CONSTRUCTION PERIOD.
- LIMITING EXPOSURES: SUPERVISE CONSTRUCTION ACTIVITIES TO ENSURE THAT NO PART OF CONSTRUCTION, EXISTING, COMPLETED OR IN PROGRESS, IS SUBJECT TO HARMFUL OR DELETERIOUS EXPOSURE. SUCH EXPOSURES INCLUDE:
 - EXCESSIVE STATIC OR DYNAMIC LOADING
 - EXCESSIVE WEATHERING
 - EXCESSIVE HIGH OR LOW TEMPERATURES OR HUMIDITY
 - AIR CONTAMINATION OR POLLUTION
 - WATER OR ICE
 - CHEMICALS OR SOLVENTS
 - HEAVY TRAFFIC, SOILING, STAINING OR CORROSION
 - UNUSUAL WEAR OR OTHER MISUSE
 - CONTACT BETWEEN INCOMPATIBLE MATERIALS
 - THEFT OR VANDALISM
- APPLICABILITY OF STANDARDS: EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED INTO CONTRACT DOCUMENTS. SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH STANDARD IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.
- CONFLICTING REQUIREMENTS: WHERE COMPLIANCE WITH TWO OR MORE STANDARDS THAT ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS IS SPECIFIED, THE MOST STRINGENT REQUIREMENT WILL BE ENFORCED. REFER UNCERTAINTIES AS TO WHICH QUALITY LEVEL IS MORE STRINGENT TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING.
- CONTRACTOR RESPONSIBILITIES: PROVIDE INSPECTIONS AND TESTS SPECIFIED OR REQUIRED BY GOVERNING AUTHORITIES, FOR YOUR PART OF THE WORK.
- SOURCE LIMITATIONS: TO THE FULLEST EXTENT POSSIBLE, PROVIDE PRODUCTS OF THE SAME KIND, FROM A SINGLE SOURCE.

PROJECT TEAM

GENERAL

MATTHEW ROBINSON
CITY OF RENO HOUSING AUTHORITY
1525 EAST 9TH STREET
RENO, NV 89512

P: (775) 329-3630 EXT. 213
E: mrobinson@renoha.org

ARCHITECTURAL / STRUCTURAL

McELHANEY STRUCTURAL ENGINEERS, LLC
290 BRINKBY AVE. #205
RENO, NV 89509

P: (775) 853-5525
F: (775) 297-0739
E: brett@mcelhaneystructural.com

SHEET INDEX

G000
S001
S002
S101

TITLE SHEET
GENERAL NOTES
GENERAL NOTES
FOUNDATION PLAN/DETAILS

PROJECT INFORMATION

SCOPE OF WORK

PROVIDE DESIGN AND COST ESTIMATE TO STABILIZE INTERIOR BEARING WALL FOUNDATIONS IN CRAWL SPACE.

DESIGN INFORMATION

OCCUPANCY CLASSIFICATION:
LIVE LOAD: SEE STRUCTURAL
GROUND SNOW LOAD: SEE STRUCTURAL
ROOF SNOW LOAD: SEE STRUCTURAL
SOIL BEARING: SEE STRUCTURAL
WIND SPEED: SEE STRUCTURAL
WIND EXPOSURE: SEE STRUCTURAL
SEISMIC INFORMATION: SEE STRUCTURAL
SITE CLASS: SEE STRUCTURAL



**HAWK VIEW APARTMENTS
FOUNDATION STABILIZATION**
City of Reno Housing Authority
1524 Steelwood Ln,
Reno, NV 89512

DRAWING DESCRIPTION

TITLE SHEET

DRAWN BY:
SZ
CHECKED BY:
BAM
DATE:
11/24/2020
SCALE:
JOB NUMBER:
PROJECT NUMBER
SHEET:

G000

DIVISION 01 GENERAL REQUIREMENTS

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
2. DO NOT SCALE THE DRAWINGS FOR WORKING DIMENSIONS.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. TYPICAL DETAILS SHALL APPLY TO THE PROJECT DRAWINGS EXCEPT WHEN SPECIFIC DETAILS ARE SHOWN WHICH SHALL TAKE PRECEDENCE.
4. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING CODE: THE 2018 INTERNATIONAL BUILDING CODE (IBC), ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK, AND THE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS.
5. SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
 - a. SIZE AND LOCATION OF WINDOW AND DOOR OPENINGS.
 - b. SIZE AND LOCATION OF CONCRETE CURBS, FLOOR DRAINS, AND DEPRESSED AREAS.
 - c. SIZE AND LOCATION OF FLOOR AND ROOF OPENINGS, EXCEPT AS SHOWN.
 - d. SIZE AND LOCATION OF INTERIOR AND EXTERIOR NON-BEARING PARTITIONS.
6. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
 - a. ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS, AND SIZE AND LOCATION OF EQUIPMENT BASES.
 - b. PIPE RUNS, SLEEVES, HANGERS, TRENCHES, AND OPENINGS.
 - c. CONCRETE INSERTS OR FIXTURES.
7. CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, NOTIFY STRUCTURAL ENGINEER IMMEDIATELY.
8. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
9. OPENINGS, POCKETS, ETC. LARGER THAN 6 INCHES SHALL NOT BE PLACED IN SLABS, DECKS, BEAMS, JOISTS, COLUMNS, WALLS, ETC. UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS. NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS.
10. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
11. SHOP DRAWINGS SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW SHALL CONSIST OF THE NUMBER OF SETS TO BE RETURNED PLUS ONE. SHOP DRAWING SUBMITTALS SHALL BE BOUND COPIES.
12. ADHESIVE ANCHORS SHALL BE SIMPSON SET-XP EPOXY PER ICC ESR-2508 WITH ASTM A-36 THREADED ROOF OR ANCHORS SHALL BE SIMPSON STRONG-BOLT CARBON STEEL PER ICC ESR-1771, U.N.O. ADHESIVE OR EXPANSION ANCHORS SHALL NOT BE INSTALLED UNTIL MASONRY OR CONCRETE HAS CURED TO DESIGN STRENGTH.
13. DESIGN LOADS:

ROOF DEAD LOAD:	12 psf
ROOF LIVE LOAD:	20 psf
FLOOR DEAD LOAD:	12 psf
FLOOR LIVE LOAD:	40 psf
GROUND SNOW LOAD:	30 psf

- ROOF SNOW LOAD DATA:
1. ROOF SNOW LOAD: 21 psf
 2. $C_e = 0.9$
 3. $I_s = 1.00$
 4. $C_t = 1.1$
- WIND DESIGN DATA:
1. ULTIMATE DESIGN WIND SPEED = 120 mph (3-SECOND GUST)
 2. RISK CATEGORY I
 3. WIND EXPOSURE C
 4. INTERNAL PRESSURE COEFFICIENT = 0.18
- EARTHQUAKE DESIGN DATA:
1. RISK CATEGORY II
 2. $I_e = 1.00$
 3. $S_s = 1.45g, S_1 = 0.511g$
 4. SITE CLASS: D
 5. $S_{ds} = 1.165g, S_{d1} = 0.511g$
 6. SEISMIC DESIGN CATEGORY: D
 7. BASIC SEISMIC-FORCE RESISTING SYSTEM(S):
 - = LIGHT FRAMED WALL SHEATHED WITH STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE.
 - 8. RESPONSE MODIFICATION COEFFICIENT(S), R = 6.5
 - 9. ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

DIVISION 01 SUMMARY OF WORK

1. IT SHALL BE THE CONTRACTOR'S DIRECT RESPONSIBILITY TO COMPLY WITH TYPICAL DETAILS AND GENERAL NOTES AS DELINEATED OR DEFINED ON THE TYPICAL DETAIL DRAWINGS OF THESE CONTRACT DOCUMENTS REGARDLESS OF SPECIFIC FLAGGING OR REFERENCE TO APPLICABLE NOTE OR DETAIL.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH ALL TRADES REGARDING UTILITIES PASSING THROUGH AND UNDER FOOTINGS. STRUCTURAL REQUIREMENTS FOR THESE CONDITIONS ARE DELINEATED IN TYPICAL DETAILS.
3. TOP OF FOOTING ELEVATIONS NOTED ARE MINIMUM. SEE NOTE 2 FOR ADDITIONAL REQUIREMENTS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE ALL LOCATIONS AND SIZES OF OPENINGS IN SLABS, SLAB DEPRESSIONS, AND CURBS FOR ALL RELATED CONSTRUCTION PRIOR TO FLOOR LAYOUT OR CONSTRUCTION. CONTRACTOR SHALL THEN USE APPROPRIATE DETAIL(S) OR WALL SECTION FOR EACH APPLICABLE CONDITION.
5. CONTRACTOR SHALL VERIFY WITH APPROPRIATE SUB-CONTRACTORS THE EXACT LOCATION, WEIGHT, AND INTENDED METHOD OF ATTACHMENT OF ALL ITEMS TO BE SUSPENDED FROM OR IN ANY WAY ATTACHED TO ANY ROOF FRAMING OR OTHER STRUCTURAL MEMBER UNLESS SUCH ITEM(S) ARE CLEARLY ADDRESSED BY THE STRUCTURAL CONSTRUCTION DOCUMENTS. THIS INFORMATION SHALL BE TRANSMITTED IN WRITING TO THE APPROPRIATE FRAMING MANUFACTURER VIA THE STRUCTURAL ENGINEER PRIOR TO FINAL DESIGN OR FABRICATION OF STRUCTURAL FRAMING MEMBERS.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ENGINEER PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE STRUCTURAL ENGINEER IN WRITING OF ANY DISCREPANCIES.
8. THE CONTRACTOR AND ALL SUB-CONTRACTORS HE/SHE INTENDS TO USE (INCLUDING AGENTS AND SUPPLIERS) ARE AWARE OF AND ACKNOWLEDGE THAT CLOSE COORDINATION AMONG ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS IS REQUIRED FOR THE FOLLOWING:
 - a. DETERMINATION OF ALL COLUMN LOCATIONS AND SIZES.
 - b. DETERMINATION OF TOP OF FLOOR, TOP OF STEEL, WALL PLATES, AND TOP OF BEAM ELEVATIONS.
 - c. VERIFICATION OF ALL DIMENSIONS.
 - d. VERIFICATION OF ALL TOP OF FOOTINGS.
9. THE CONTRACTOR AND ALL SUB-CONTRACTORS HE/SHE INTENDS TO USE (INCLUDING AGENTS AND SUPPLIERS) SHALL MAKE CONSIDERATION FOR AND INCLUDE MONIES FOR THE ABOVE, IN PREPARATION OF THEIR BIDS. THIS REQUIREMENT SHALL SUPERSEDE ANY CONTAINED IN THE AISC "MANUAL OF STEEL CONSTRUCTION"

DIVISION 01 FOUNDATION PERFORMANCE REQUIREMENTS

1. FOUNDATION DESIGN BASED ON 2018 IBC TABLE 1806.2, SOIL CLASS 5. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1500 psf DEAD PLUS LIVE LOADS AND 1995 psf TOTAL LOAD (INCLUDING WIND OR SEISMIC).
2. THE CONTRACTOR SHALL PROVIDE FOR PROPER DE-WATERING OF EXCAVATIONS FROM SURFACE WATER, GROUND WATER, SEEPAGE, ETC.
3. THE CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY AND ADEQUATELY RETAIN THE EARTH BANKS.
4. EXCAVATIONS FOR FOOTINGS SHALL BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING THE CONCRETE AND REINFORCING. THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER WHEN INSPECTION OF EXCAVATIONS ARE READY. THE SOILS ENGINEER SHALL SUBMIT A LETTER OF COMPLIANCE TO THE OWNER.
5. ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE CONCRETE HAS ATTAINED FULL DESIGN STRENGTH. THE CONTRACTOR SHALL BRACE OR PROTECT ALL BUILDING WALLS BELOW GRADE FROM LATERAL LOADS UNTIL ATTACHING FLOORS ARE COMPLETELY IN PLACE AND HAVE ATTAINED FULL STRENGTH. THE CONTRACTOR SHALL PROVIDE PRO DESIGN, PERMITS, AND INSTALLATION OF SUCH BRACING.
6. FOOTINGS SHALL BE PLACED AND ESTIMATED ACCORDING TO DEPTHS SHOWN ON DRAWINGS. SHOULD SOIL ENCOUNTERED AT THESE DEPTHS NOT BE APPROVED BY THE SOILS ENGINEER, FOOTING ELEVATIONS OR FOOTING DESIGN WILL BE ALTERED BY CHANGE ORDER.
7. FOOTING BACKFILL AND UTILITY TRENCH BACKFILL WITHIN BUILDING AREA SHALL BE MECHANICALLY COMPACTED IN LAYERS, TO THE APPROVAL OF THE SOILS ENGINEER. FLOODING WILL NOT BE PERMITTED.
8. ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.

DIVISION 01 SPECIAL INSPECTION AND DEFERRED SUBMITTALS

1. SPECIAL INSPECTIONS SHALL BE IN COMPLIANCE WITH IBC SECTION 1704.
2. THE OWNER SHALL EMPLOY A QUALIFIED TESTING AGENCY TO PROVIDE A QUALITY ASSURANCE AND TESTING PROGRAM AS NOTED IN SECTIONS 1705, 1706, 1707, AND 1708 OF THE IBC. THE TESTING AGENCY SHALL WORK WITH THE ENGINEER OF RECORD IN DEVELOPING A QUALITY ASSURANCE PLAN.
3. STATEMENT OF SPECIAL INSPECTION PER IBC SECTION 1705.

	CONTINUOUS	PERIODIC
DRIVEN DEEP FOUNDATION ELEMENTS		
1. VERIFY ELEMENT MATERIALS, SIZES AND LENGTHS COMPLY WITH THE REQUIREMENTS.	X	-
2. DETERMINE CAPACITIES OF TEST ELEMENTS AND CONDUCT ADDITIONAL LOAD TEST, AS REQUIRED.	X	-
3. OBSERVE DRIVING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT.	X	-
4. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFORM TYPE AND SIZE OF HAMMER, RECORD NUMBER OF BLOWS PER FOOT OF PENETRATION, DETERMINE REQUIRED PENETRATIONS TO ACHIEVE DESIGN CAPACITY, RECORD TIP AND BUTT ELEVATIONS AND DOCUMENT ANY DAMAGE TO FOUNDATION ELEMENT.	X	-
5. FOR STEEL ELEMENTS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705.2.		
6. FOR CONCRETE ELEMENTS AND CONCRETE FILLED ELEMENTS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705.3.		
7. FOR SPECIALTY ELEMENTS, PERFORM ADDITIONAL INSPECTIONS AS DETERMINED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.		

4. STRUCTURAL OBSERVATIONS. THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THIS STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION AS DEFINED IN SECTION 202. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR & THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE & IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED. STRUCTURAL OBSERVATIONS SHALL BE PERFORMED AT THE FOLLOWING STAGES OF CONSTRUCTION PRIOR TO PLACEMENT OF CONCRETE:
 - a. INSTALLATION OF PUSH PIERS

STRUCTURAL OBSERVATION DOES NOT WAIVE NOR REPLACE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING INSPECTOR OR THE DEPUTY INSPECTOR. STRUCTURAL OBSERVATION IS NOT AN INSPECTION. IT IS FAMILIARIZATION WITH THE PROGRESS AND QUALITY OF THE WORK AND CLARIFICATION OF THE DOCUMENTS AND GENERAL CONFORMANCE TO DESIGN INTENT. SEE "INSPECTION NOTES" FOR INSPECTION CRITERIA AND NOTE THAT CONTINUOUS SPECIAL INSPECTION PERFORMED BY A QUALIFIED DEPUTY IS REQUIRED FOR ALL PRIMARY STRUCTURAL ELEMENTS. ETC. THE CONTRACTOR AND INSPECTOR WILL ASSURE THAT CERTIFIED RECORD OF CONTINUOUS SPECIAL INSPECTION OF THE WORK TO BE OBSERVED IS MADE AVAILABLE TO THE OBSERVER BEFORE REQUESTING OBSERVATION. THE STRUCTURAL OBSERVER SHALL PERFORM SITE VISITS AT THOSE STEPS IN THE PROGRESS OF THE WORK THAT ALLOW FOR CORRECTION OF DEFICIENCIES WITHOUT SUBSTANTIAL EFFORT OR UNCOVERING OF THE WORK INVOLVED.

5. DEFERRED SUBMITTALS. THE FOLLOWING DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ENGINEER OF RECORD/ARCHITECT FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE REVIEW AND COORDINATION BY THE ENGINEER OF RECORD/ARCHITECT, A SUBMITTAL WOULD THEN BE MADE TO THE CITY BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. THE SUBMITTAL WILL INCLUDE A LETTER STATING THAT THIS REVIEW AND COORDINATION IS COMPLETED AND PLANS AND CALCULATIONS OF THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE WITH NO EXCEPTIONS.

DIVISION 03 REINFORCING STEEL

1. ALL REINFORCING STEEL SHALL BE DETAILED AND PLACED IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318, LATEST APPROVED EDITION), AND THE "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" (LATEST EDITION), BY THE C.C.S.I. AND THE W.C.R.S.I., AS MODIFIED BY THE PROJECT DRAWINGS AND SPECIFICATIONS.
2. DEFORMED REINFORCING BARS SHALL BE ASTM A-615 GRADE 60, EXCEPT TIES, STIRRUPS, SLAB DOWELS, AND REINFORCING BARS IN NON-STRUCTURAL CONCRETE SUCH AS, SLABS ON GRADE, WHICH MAY BE GRADE 40, UNLESS NOTED OTHERWISE. USE ASTM A-706 REINFORCING BARS THAT ARE REQUIRED TO BE WELDED.
3. DEFORMED REINFORCING BARS FOR MOMENT FRAMES SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE (IBC), CHAPTER 19.
4. WELDING OF REINFORCING BARS SHALL BE WITH LOW HYDROGEN ELECTRODES IN CONFORMANCE WITH "RECOMMENDED PRACTICES FOR WELDING REINFORCING STEEL", AMERICAN WELDING SOCIETY, AWS-D1.4 (SEE SPECIFICATIONS).
5. ALL REINFORCING BARS BENDS SHALL BE MADE COLD.
6. WELDED WIRE FABRIC (W/WF) SHALL CONFORM TO ASTM A-185.
7. MINIMUM LAP OF WELDED WIRE FABRIC SHALL BE 6" OR 1-1/2 FULL MESH, WHICH EVER IS GREATER.
8. REINFORCING SPLICES SHALL BE MADE ONLY WHERE INDICATED ON THE DRAWINGS.
9. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE, AND SPACING OR NUMBER AS THE VERTICAL REINFORCING, RESPECTIVELY.
10. ALL BARS SHALL BE MARKED SO THEIR IDENTIFICATION CAN BE VERIFIED WHEN THE FINAL IN-PLACE INSPECTION IS PERFORMED.
11. THE CONTRACTOR SHALL PROVIDE FOR AN ALLOWANCE OF TWO TONS OF REINFORCING BARS TO BE FURNISHED, FABRICATED, AND PLACED DURING PROGRESS OF WORK AS MAY BE DIRECTED BY THE STRUCTURAL ENGINEER, IN ADDITION TO ALL STEEL INDICATED ON THE DRAWINGS.
12. SEE TYPICAL DETAILS FOR REINFORCEMENT SPLICES IN CONCRETE. SPLICE ALL REINFORCING BARS 2"6" MINIMUM, U.N.O.
13. ALL REINFORCING BARS SHALL BE TIED IN PLACE BEFORE CONCRETE OR GROUT.
14. DO NOT SPLICE REINFORCING STEEL IN THE MIDDLE THIRD OF WALLS.

DIVISION 03 CONCRETE

1. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AMERICAN CONCRETE INSTITUTE 318 (ACI 318) AND THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST APPROVED ADDITIONS, WITH MODIFICATIONS AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
2. REINFORCED CONCRETE DESIGN IS BY THE "ULTIMATE STRENGTH DESIGN METHOD."
3. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE STRUCTURAL ENGINEER. CALCIUM CHLORIDE SHALL NOT BE USED.
 - a. PROPOSED MIX DESIGNS SHALL BE NO MORE THAN ONE (1) YEAR OLD, AND HAVE AFFIXED ON EACH SUBMITTED COPY THE ORIGINAL SEAL OF THE REVIEWING ENGINEER. THE REVIEWING ENGINEER SHALL BE REGISTERED IN THE STATE OF NEVADA.
 - b. EACH DESIGN MIX SHALL INDICATE THE PROJECT NAME AND ADDRESS. THE CONTRACTOR SHALL DESIGNATE THE LOCATION OF USE FOR EACH PROPOSED MIX DESIGN.
 - c. EACH MIX DESIGN SHALL INCLUDE THE SLUMP, BEFORE AND AFTER ADDING PLASTICIZER, AIR ENTRAINMENT, TYPE OF AGGREGATE, TYPE OF CEMENT, AND ADMIXTURES TO BE USED.
4. SCHEDULE OF STRUCTURAL CONCRETE - 28 DAY STRENGTHS:

LOCATION IN STRUCTURE	STRENGTH (psi)	TYPE	145 ± 5 psf
1) FOOTINGS	3,000*	NORMAL WT.	145 ± 5 psf

 (DESIGN BASED ON 2,500)

2) SLABS	4,000*	NORMAL WT.	145 ± 5 psf
3) GRADE BEAMS	3,000*	NORMAL WT.	145 ± 5 psf
4) OTHER	3,000*	NORMAL WT.	145 ± 5 psf

 PROVIDE 6%±1% AIR ENTRAINMENT IN EXTERIOR CONCRETE AND ANY CONCRETE EXPOSED TO FREEZING, U.N.O.
 * SEE NOTE 5 BELOW, FOR CONCRETE IN CONTACT WITH SOIL.
 PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II. VERIFY W/ SOILS ENGINEER. USE TYPE V CEMENT W/ MAX. WATER TO CEMENT RATIO 0.45 AND F_c = 4,500 psi FOR CONCRETE IN CONTACT W/ SOIL IF DIRECTED BY THE SOILS ENGINEER.
 - a. PANELS: MIN. 5-1/2 SACK CEMENT CONTENT, PLACED AT 3" MAX. SLUMP.
 - b. SLABS ON GRADE: MIN. 5-1/2 SACK CEMENT CONTENT, PLACED AT 3" MAX. SLUMP.
 - c. FOOTINGS: MIN. 5-1/4 SACK PER CUBIC YARD CEMENT CONTENT, 4" MAX. SLUMP.
 MAXIMUM WATER TO CEMENT RATIO SHALL BE AS FOLLOWS:
 - a. EXTERIOR SLABS AND ALL EXTERIOR CONCRETE: 0.45
 - b. INTERIOR SLABS: 0.54
5. AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TEST OF ASTM C-33 AND PROJECT SPECIFICATIONS. EXCEPTIONS MAY BE USED ONLY WITH PERMISSION FROM THE STRUCTURAL ENGINEER. MAXIMUM AGGREGATE SIZE SHALL CONFORM WITH THE FOLLOWING: 1/5 DISTANCE BETWEEN FORMS, 3/4 DISTANCE BETWEEN REINFORCING BARS, AND 1/3 THICKNESS OF SLAB.
6. CONCRETE MIXING OPERATIONS, ETC. SHALL CONFORM TO ASTM C-94.
7. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 318 REQUIREMENTS AND PROJECT SPECIFICATIONS. SANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.
8. IF COLUMNS AND WALLS ARE PLACED WITHIN TWO HOURS MUST ELAPSE BETWEEN THE END OF COLUMN OR WALL POUR AND THE BEGINNING OF THE FLOOR POUR.
11. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
 - a. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - b. CONCRETE EXPOSED TO WEATHER:
 - No. 6 THROUGH No. 18 BARS 2"
 - No. 5 BAR, W31 OD D31 WIRE, AND SMALLER 1 1/2"
 - c. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
 - No. 14 AND No. 16 BARS 1 1/2"
 - No. 11 BARS AND SMALLER 3/4"
12. ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE SECURED IN THEIR FINAL POSITION PRIOR TO PLACING CONCRETE.
13. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACEMENT. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING CONCRETE IS NOT PERMITTED, EXCEPT AS SHOWN. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
14. CONDUITS SHALL NOT BE RUN IN SLABS OR PLACED IN BASE MATERIAL. CONCENTRATED RUNS OF CONDUITS OR PIPES SHALL BE AVOIDED, EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.
15. PROJECTING CORNERS OF BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 1/2" CHAMFER, UNLESS OTHERWISE NOTED, OTHERWISE ON ARCHITECTURAL DRAWINGS.
16. CURING COMPOUNDS USED ON CONCRETE THAT IS TO RECEIVE A RESILIENT TILE FINISH SHALL BE APPROVED BY THE TILE MANUFACTURER BEFORE USE.
17. SHRINKAGE OF CONCRETE, WHEN TESTED IN ACCORDANCE WITH ASTM C-157, SHALL NOT EXCEED 0.00065 INCHES/INCH FOR HARD ROCK CONCRETE AND 0.00055 INCHES/INCH FOR LIGHT WEIGHT CONCRETE.
18. PLACE AND PROTECT CONCRETE IN COMPLIANCE WITH ACI 305 AND 306, RESPECTIVELY, DURING HOT AND COLD EXPOSURE CONDITIONS.

DIVISION 06 WOOD

1. FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER, WITH MOISTURE CONTENT < 19% UNLESS OTHERWISE NOTED. LOAD BEARING STUDS SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER, UNLESS OTHERWISE NOTED. POSTS AND BEAMS 6" AND LARGER SHALL BE DOUGLAS FIR NO. 1 GRADE, UNLESS OTHERWISE NOTED.
2. ALL PLYWOOD SHALL BE CC OR CD CONFORMING TO PRODUCT STANDARD PS 1-95. USE COMMON WIRE NAILS.
3. ALL BOLTS SHALL CONFORM TO ASTM A-307 Gr. A, UNLESS NOTED OTHERWISE ON PLANS. BOLT HOLES SHALL BE 1/16" MAXIMUM LARGER THAN THE BOLT SIZE. RETIGHTEN ALL NUTS PRIOR TO LOSING N. ALL BOLTS SHALL HAVE A MINIMUM OF 3 THREADS PROJECTING BEYOND THE NUT, ROLLED THREADS (UPSET) ARE NOT PERMITTED. USE ASTM A563 NUTS AND ASTM F436 WASHERS U.N.O.
STANDARD CUT WASHERS SHALL BE USED UNDER BOLT HEADS AND NUTS AGAINST WOOD. USE HEAVY PLATE OR MALLEABLE IRON WASHERS FOR ALL BOLTS DESIGNED TO ACT IN TENSION. SEE DRAWINGS FOR LOCATION.
HEAVY PLATE WASHER SIZES SHALL BE AS FOLLOWS:

1/2" BOLT	.....	2 x 2 x 1/4
5/8" BOLT	.....	2 1/2 x 2 1/2 x 1/4
3/4" BOLT	.....	3 x 3 x 1/4
7/8" BOLT	.....	3 1/2 x 3 1/2 x 5/16
1" BOLT	.....	4 x 4 x 3/8
1 1/8" BOLT	.....	4 x 4 x 7/16
5. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. BOLTS SHALL BE PLACED 12" OR LESS THAN 4" FROM THE END OF A PLATE, OR FROM A NOTCH GREATER THAN 1/2 THE WIDTH OF A PLATE, AND SPACED AT INTERVALS NOTED. ANCHOR BOLTS SHALL HAVE 3"x3"x229 SQUARE WASHERS AT DESIGNATED SHEAR WALLS.
6. ALL STUD PARTITIONS OR WALLS OVER 10 FEET HIGH SHALL HAVE 2x BRIDGING, SAME WIDTH AS THE STUD, PREFERABLY AT MID-HEIGHT BUT NOT TO EXCEED INTERVALS OF 8 FEET.
7. DO NOT NOTCH JOISTS, RAFTERS OR BEAMS, EXCEPT WHERE SHOWN IN DETAILS. OBTAIN ENGINEER'S APPROVAL FOR ANY HOLES OR NOTCHES NOT DETAILED. HOLES THROUGH SILLS, PLATES, STUDS AND DOUBLE PLATES IN INTERIOR, BEARING AND SHEAR WALLS SHALL NOT EXCEED 1/3 THE PLATE WIDTH. USE BORED HOLES LOCATED IN THE CENTER OF THE STUD OR PLATE.
8. APPROVED CROSS-BRIDGING OR SOLID BLOCKING SHALL BE SPACED AS FOLLOWS:
 - FOR RAFTERS MORE THAN 8" IN DEPTH, AT 10 FT. O.C. MAXIMUM.
 - FOR FLOOR JOISTS MORE THAN 4" IN DEPTH, AT 8 FT. O.C. MAX.
9. NAILED CONNECTIONS SHALL CONFORM TO THE MINIMUM NAILING SCHEDULE OF TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE, EXCEPT AS OTHERWISE NOTED. ALL NAILS SHALL BE COMMON WIRE NAILS. WHERE DRIVING OF NAILS CAUSES SPLITTING, HOLES FOR THE NAILS SHALL BE PRE-DRILLED.
10. UNLESS NOTED OTHERWISE, PRE-MANUFACTURED FRAMING CONNECTORS CALLED FOR ON THE DRAWINGS SHALL BE SIMPSON STRONG-TIE CONNECTORS, OR APPROVED EQUAL.
11. ALL LAMINATED VENEER LUMBER (LVL) ALL PARALLEL STRAND LUMBER (PSL) SPECIFIED SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRENGTHS:

LVL:	Fb=2600 psi, Fv=285 psi, E=1,900,000 psi.
PSL:	Fb=2600 psi, Fv=285 psi, E=2,000,000 psi. (2.0E BEAMS)
LSL:	Fb=1700 psi, Fv=425 psi, E=1,300,000 psi (1 1/4" THICKNESS)
12. ALL FLOOR OPENINGS SHALL BE BETWEEN JOISTS, (U.N.O.)
13. DO NOT NOTCH BEAMS, JOISTS, AND STUDS, (U.N.O.)
14. NAIL ALL MULTIPLE PLY FRAMING (2)164 AT 12" O.C. EACH PLY U.N.O.

Revision Schedule	Date
	Description

MCELHANEY STRUCTURAL ENGINEERS, LLC
230 BRINKBY AVE, SUITE #205
RENO, NV 89509
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PRELIMINARY
NOT FOR CONSTRUCTION

11/24/2020
Project Status

HAWK VIEW APARTMENTS
FOUNDATION STABILIZATION

City of Reno Housing Authority
1524 Steelwood Ln,
Reno, NV 89512

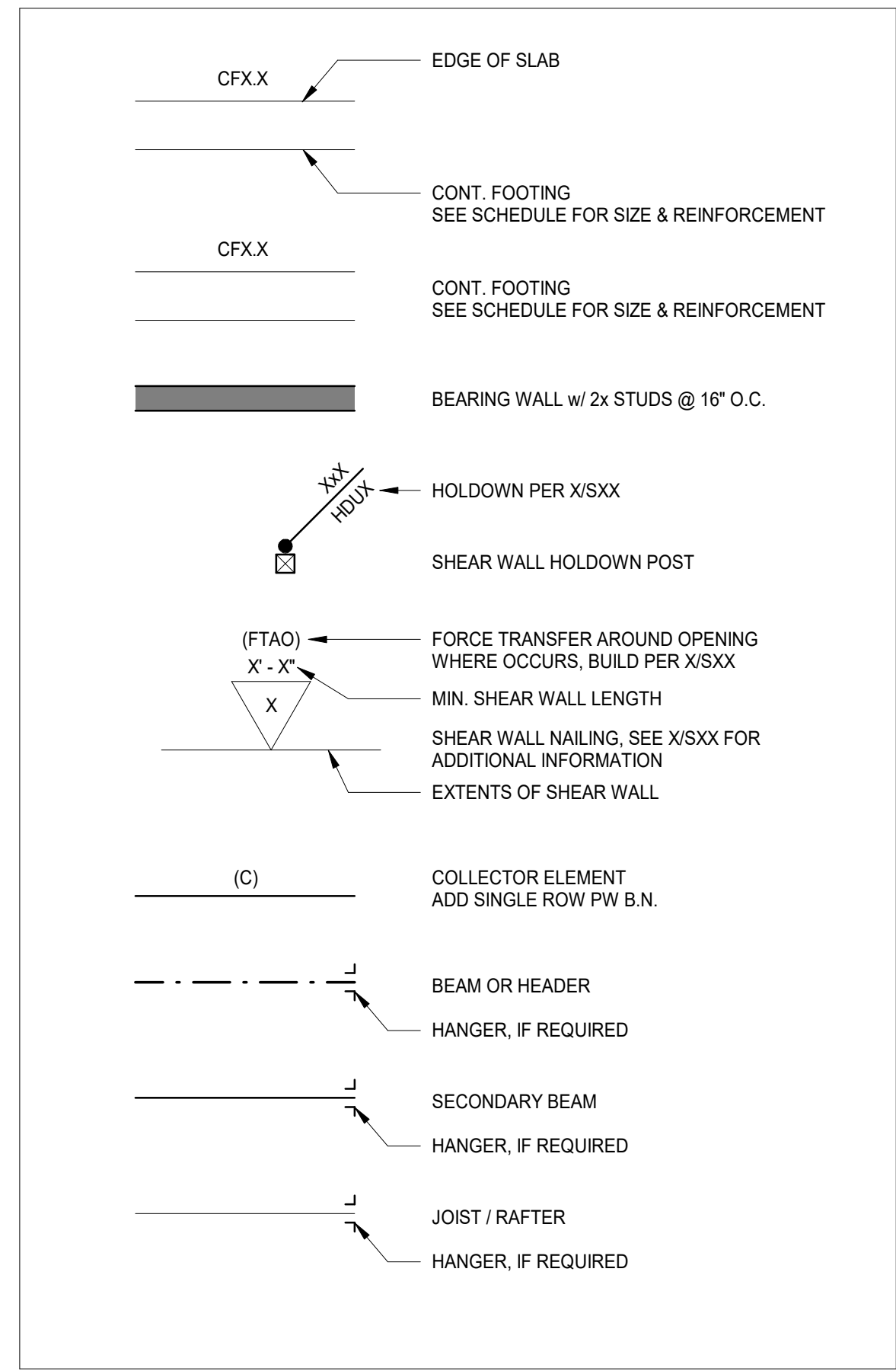
DRAWING DESCRIPTION
GENERAL NOTES

DRAWN BY: SZ
CHECKED BY: BAM
DATE: 11/24/2020
SCALE: 12" = 1'-0"
JOB NUMBER: PROJECT NUMBER SHEET:

S001

ABBREVIATIONS

ADDL. ADDITIONAL	LBS. POUNDS
AGGR. AGGREGATE	LT. LIGHT
ALT. ALTERNATE	L.L. LIVE LOAD
A.B. ANCHOR BOLT	LG. LONG
ANC. ANCHOR	L.L.H. LONG LEG HORIZONTAL
APPROX. APPROXIMATE	L.L.V. LONG LEG VERTICAL
ARCH. ARCHITECTURAL	L.V.L. LAMINATED VENEER LUMBER
ASSY. ASSEMBLY	M.B. MACHINE BOLT
AVG. AVERAGE	M.I.W. MALLEABLE IRON WASHER
BM. BEAM	MFR. MANUFACTURER
BRG. BEARING	MK. MARK
BEL. BELOW	MAX. MAXIMUM
BETW. BETWEEN	M.D. MID DEPTH
BLK. BLOCK	MECH. MECHANICAL
BLKG. BLOCKING	MTL. METAL
BOTT. BOTTOM	MIN. MINIMUM
B.O. BOTTOM OF	MISC. MISCELLANEOUS
B.O.D. BOTTOM OF DECK	N.F. NEAR FACE
B.N. BOUNDARY NAILING	N.S. NEAR SIDE
B.S./BIS. BOTH SIDES	(N) NEW
BLDG. BUILDING	NOM. NOMINAL
C.B.C. CALIFORNIA BUILDING CODE	N.I.C. NOT IN CONTRACT
CANTL. CANTILEVER	NTS. NOT TO SCALE
CLG. CEILING	# NUMBER OR POUNDS
CEN. CENTER	O.C. ON CENTER
C.L. CENTERLINE	OPNG. OPENING
c.c. CENTER TO CENTER	OPP. OPPOSITE
C.G. CENTER OF GRAVITY	O.H. OPPOSITE HAND
CHNL. CHANNEL	O.D. OUTSIDE DIAMETER
CLR. CLEAR	PR. PAIR
COL. COLUMN	PTN. PARTITION
C.P. COMPLETE PENETRATION	PSL. PARALLEL STRAND LUMBER
CONC. CONCRETE	PARL. PARALLEL
CONN. CONNECTION	PEN. PENETRATION
C.J. CONSTRUCTION JOINT	PERP. PERPENDICULAR
CONT. CONTINUOUS	PL. PLATE
CONTR. CONTRACTOR	pcf POUNDS PER CUBIC FOOT
CONST. CONSTRUCTION	psf POUNDS PER SQUARE FOOT
C/S. COUNTERSINK	psi POUNDS PER SQUARE INCH
D&E DRILL AND EPOXY	P.A.F. POWDERED ACTUATED FASTENER
D.L. DEAD LOAD	P.D.F. POWDER DRIVER FASTENER
D.B.A. DEFORMED BAR ANCHOR	PREFAB. PRE-FABRICATED
DET. DETAIL	P.J.F. PREMOLDED JOINT FILLER
DIAG. DIAGONAL	PROJ. PROJECT
DIA. DIAMETER	P.T. PRESSURE TREATED
DIM. DIMENSION	RAD. RADIUS
D.O. DITTO	REF. REFERENCE
DBL. DOUBLE	REINF. REINFORCEMENT
DWG. DRAWING	R.C. REINFORCED CONCRETE
D.J. DOWEL JOINT	REQ'D. REQUIRED
D.T. DRAG TRUSS	REV. REVISION
EA. EACH	SCHED. SCHEDULE
E.F. EACH FACE	SECT. SECTION
E.N. EDGE NAILING	STS. SELF TAPPING SCREW
E.S. EACH SIDE	SW. SHEAR WALL
E.W. EACH WAY	SHT. SHEET
ELEC. ELECTRICAL	SHTG. SHEATHING
EL. ELEVATION	SIM. SIMILAR
EMBED. EMBEDMENT	S.J. SLAB JOINT
ENGR. ENGINEER	S.O.G. SLAB ON GRADE
EQ. EQUAL	S.B. SOLID BLOCK
EQUIP. EQUIPMENT	SPECS. SPECIFICATIONS
EXCAV. EXCAVATION	SQ. SQUARE
(E) EXISTING	s.f. SQUARE FEET
EXP. EXPANSION	STAGG. STAGGERED
E.J. EXPANSION JOINT	STD. STANDARD
EXT. EXTERIOR	STFNR. STIFFENER
FAB. FABRICATION	STRUCT. STRUCTURAL
F.O. FACE OF	SYM. SYMMETRICAL
F.O.C. FACE OF CONCRETE	THRD. THREADED
F.O.S. FACE OF STUD	THRU. THROUGH
FT. FEET	T.N. TOE NAIL
FIG. FIGURE	TOL. TOLERANCE
FIN. FINISH	T&B. TOP AND BOTTOM
F.F. FINISHED FLOOR	T.O. TOP OF
FLR. FLOOR	T.O.B. TOP OF BEAM
F.D. FLOOR DRAIN	T.O.C. TOP OF CONCRETE
FTG. FOOTING	T.O.F. TOP OF FOOTING
FDN. FOUNDATION	T.O.P. TOP OF PLATE
FRMG. FRAMING	T.O.S. TOP OF STEEL
GA. GAUGE	T.O.W. TOP OF WALL
GALV. GALVANIZED	TS. TUBE STEEL
GR. GRADE	TYP. TYPICAL
GB. GRADE BEAM	U.N.O. UNLESS NOTED OTHERWISE
GRND. GROUND	V.I.F. VERIFY IN FIELD
HGR. HANGER	VERT. VERTICAL
H.S.A. HEADED STUD ANCHOR	WT. WEIGHT
HDR. HEADER	W.S. WELDED STUD OR WOOD SCREW
HT. HEIGHT	WWF. WELDED WIRE FABRIC
H.S.B. HIGH STRENGTH BOLT	WWM. WELDED WIRE MESH
HSS. HOLLOW STRUCTURAL SECTION	WF. WIDE FLANGE
HORIZ. HORIZONTAL	w/ WITH
I.B.C. INTERNATIONAL BUILDING CODE	w/O WITHOUT
IN. INCHES	WP. WORK POINT
INCLD. INCLUDED	
INFO. INFORMATION	
I.D. INSIDE DIAMETER	
INT. INTERIOR	
I.J. ISOLATION JOINT	
JT. JOINT	
JST. JOIST	



Revision Schedule	Date
No.	Description

MSE
 McELHANEY STRUCTURAL ENGINEERS, LLC
 230 BRINKBY AVE. SUITE #205
 RENO, NV 89509
 phone: 775.853.5525
 www.mcelhaneystructural.com

PRELIMINARY
 NOT FOR CONSTRUCTION

11/24/2020
 Project Status

HAWK VIEW APARTMENTS
FOUNDATION STABILIZATION
 City of Reno Housing Authority
 1524 Steelwood Ln,
 Reno, NV 89512

DRAWING DESCRIPTION

GENERAL NOTES

DRAWN BY:
 SZ

CHECKED BY:
 BAM

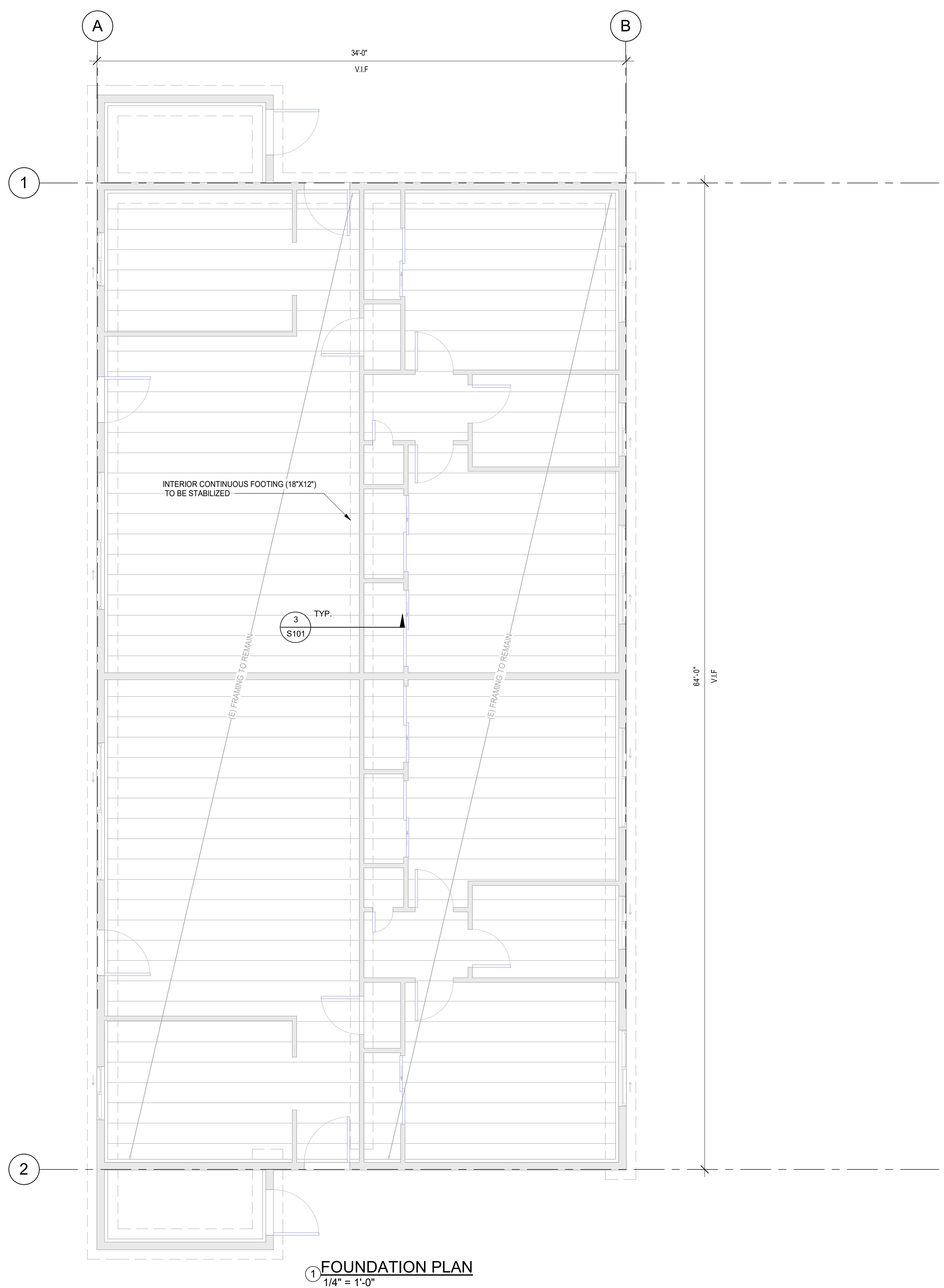
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 11/24/2020

SCALE:
 12" = 1'-0"

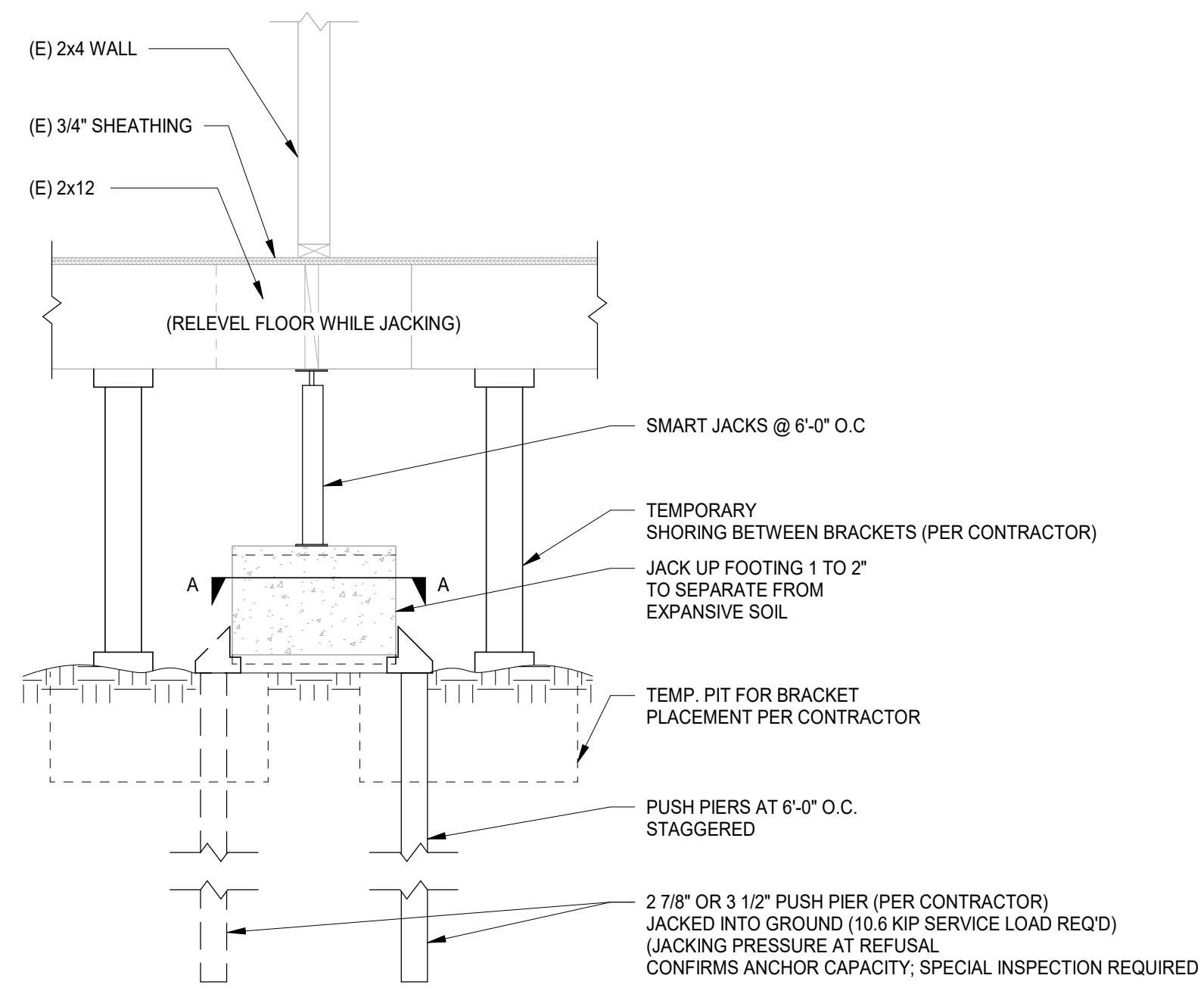
JOB NUMBER:
 PROJECT NUMBER

SHEET:

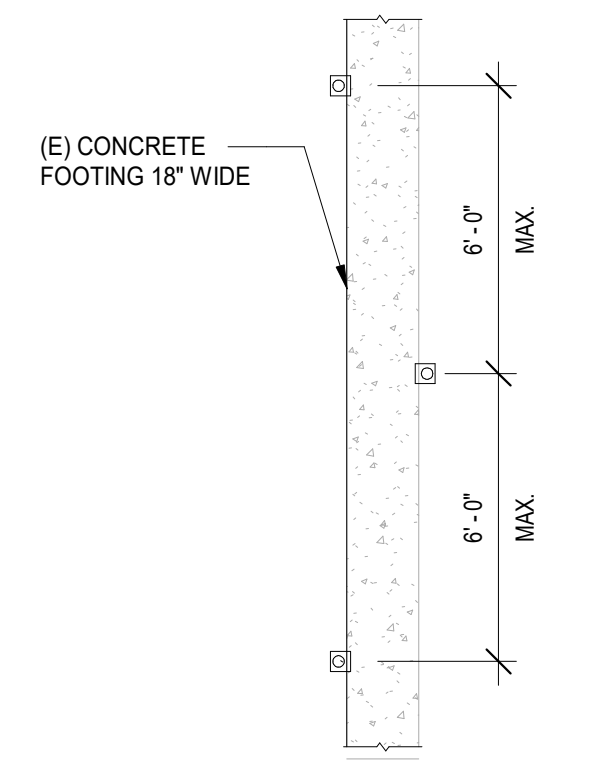
S002



① FOUNDATION PLAN
1/4" = 1'-0"



③ INTERIOR FOOTING STABILIZATION
3/4" = 1'-0"



④ SECTION A-A
1/4" = 1'-0"

GENERAL NOTES

1. ALL INFORMATION SHOWN IS TO BE CONSIDERED NEW, UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
4. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

Revision Schedule	
No.	Date

MSE
McELHANEY STRUCTURAL ENGINEERS, LLC
230 BRINKBY AVE, SUITE #205
RENO, NV 89509
phone: 775.853.5525
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PRELIMINARY
NOT FOR CONSTRUCTION

11/24/2020
Project Status

**HAWK VIEW APARTMENTS
FOUNDATION STABILIZATION**
City of Reno Housing Authority
1524 Steelwood Ln,
Reno, NV 89512

DRAWING DESCRIPTION
FOUNDATION PLAN/DETAILS

DRAWN BY: SZ
CHECKED BY: BAM
DATE: 11/24/2020
SCALE: As indicated
JOB NUMBER: PROJECT NUMBER
SHEET:

S101

Rent Roll Report

For Monthly Rent Run: 05/01/2022

Development: Hawk View Apartments

Development ID: NV001000107P-107

Unit ID	Resident Name	Excl from Late Fee	Suite	Address	Bdr.	Security Deposit	Current Rent	Next Month Rent	Lease Exp.
107631	Tankersley, Kimberlyann M	No	1	2501 Tripp Dr 1, Reno, 89512	2	\$300.00	\$582.00	63.00	
107632	Sanchez-Vasquez, Llane	No	2	2501 Tripp Dr 2, Reno, 89512	2	\$200.00	\$711.00	711.00	
107633	Byrd, Breyena A	No	3	2501 Tripp Dr 3, Reno, 89512	2	\$500.00	\$570.00	570.00	05/31/2019
107634	Holt, Charity R	No	4	2501 Tripp Dr 4, Reno, 89512	2	\$300.00	\$593.00	593.00	03/06/2017
107635	Guzman, Blasa	No	1	2515 Tripp Dr 1, Reno, 89512	2	\$300.00	\$180.00	180.00	09/30/2021
107636	Vivian, Heavenly A	No	2	2515 Tripp Dr 2, Reno, 89512	2	\$300.00	\$58.00	58.00	02/28/2022
107637	Yingag, Sarah	No	3	2515 Tripp Dr 3, Reno, 89512	2	\$300.00	\$833.00	833.00	
107638	Hamilton, Juliza D	No	4	2515 Tripp Dr 4, Reno, 89512	2	\$300.00	\$27.00	27.00	09/30/2019
107639	Garcia, Alicia	No	1	2523 Tripp Dr 1, Reno, 89512	2	\$200.00	\$833.00	833.00	
107640	Tucker, Terra R	No	2	2523 Tripp Dr 2, Reno, 89512	2	\$300.00	\$27.00	27.00	04/30/2022
107641	Art, Joseph J	No	3	2523 Tripp Dr 3, Reno, 89512	2	\$500.00	\$438.00	438.00	03/03/2017
107642	Dia, Kadidia Oumar	No	4	2523 Tripp Dr 4, Reno, 89512	2	\$300.00	\$659.00	659.00	01/01/2016
107643	Hitchcock, Amber J	No	1	2505 Tripp Dr 1, Reno, 89512	2	\$300.00	\$27.00	27.00	12/31/2020
107644	Redington, Nancy L	No	2	2505 Tripp Dr 2, Reno, 89512	2	\$400.00	\$833.00	833.00	
107645	Johnson, Latoya R	No	3	2505 Tripp Dr 3, Reno, 89512	2	\$300.00	\$833.00	833.00	12/31/2019
107646	Boyd, Yuko	No	4	2505 Tripp Dr 4, Reno, 89512	2	\$200.00	\$833.00	833.00	
107647	Hurt, Stella J	No	1	2509 Tripp Dr 1, Reno, 89512	2	\$300.00	\$632.00	632.00	03/03/2017
107648	Douglas, Felicia L	No	2	2509 Tripp Dr 2, Reno, 89512	2	\$300.00	\$77.00	77.00	04/30/2019
107649	Weinberg, Tammila M	No	3	2509 Tripp Dr 3, Reno, 89512	2	\$700.00	\$563.00	563.00	01/15/2018
107650	Rodriguez, Ana C	No	4	2509 Tripp Dr 4, Reno, 89512	2	\$200.00	\$380.00	380.00	
107651	Stephens, Dallas L	No	1	2519 Tripp Dr 1, Reno, 89512	2	\$400.00	\$833.00	833.00	
107652	Curry, Alisa A	No	2	2519 Tripp Dr 2, Reno, 89512	2	\$0.00	\$833.00	833.00	08/01/2015
107653	Ernsberger, Valerie A	No	3	2519 Tripp Dr 3, Reno, 89512	2	\$200.00	\$177.00	177.00	03/31/2019
107654	Vitola, Jacklyn A	No	4	2519 Tripp Dr 4, Reno, 89512	2	\$300.00	\$27.00	27.00	02/29/2020
107655	Bailey, Destiney J	No	1	2527 Tripp Dr 1, Reno, 89512	2	\$300.00	\$369.00	369.00	06/30/2021
107656	Chestine, Diana D	No	2	2527 Tripp Dr 2, Reno, 89512	2	\$500.00	\$27.00	27.00	09/05/2016
107657	Clay, Oryanna L	No	3	2527 Tripp Dr 3, Reno, 89512	2	\$300.00	\$27.00	27.00	11/30/2019
107658	Reyna, Kimie M	No	4	2527 Tripp Dr 4, Reno, 89512	2	\$300.00	\$27.00	27.00	11/10/2017
107659	Byrd, Corey E	No	1	2535 Tripp Dr 1, Reno, 89512	2	\$300.00	\$72.00	72.00	05/31/2022
107660	Vacant as of 05/01/2022		2	2535 Tripp Dr 2, Reno, 89512	2	\$0.00	\$0.00	0.00	
107661	Landeros, Alicia S	No	3	2535 Tripp Dr 3, Reno, 89512	2	\$300.00	\$27.00	800.00	12/31/2021
107662	Castillo, Monica I	No	4	2535 Tripp Dr 4, Reno, 89512	2	\$300.00	\$91.00	49.00	03/05/2018

Rent Roll Report

107663	Harding, Michelle R	No	1	2541 Tripp Dr 1, Reno, 89512	2	\$400.00	\$165.00	165.00
107664	McGee, Terri L	No	2	2541 Tripp Dr 2, Reno, 89512	2	\$300.00	\$27.00	27.00 09/30/2019
107665	Gilmore, Aaliyah M	No	3	2541 Tripp Dr 3, Reno, 89512	2	\$300.00	\$27.00	27.00 02/29/2020
107666	Williams, Judith J	No	4	2541 Tripp Dr 4, Reno, 89512	2	\$300.00	\$289.00	289.00 10/31/2016
107667	Garcia Roman, Sharon A	No	1	2531 Tripp Dr 1, Reno, 89512	2	\$300.00	\$27.00	27.00 05/04/2018
107668	Harnett, Alison K	No	2	2531 Tripp Dr 2, Reno, 89512	2	\$600.00	\$833.00	833.00
107669	Ripley, Amanda L	No	3	2531 Tripp Dr 3, Reno, 89512	2	\$500.00	\$251.00	36.00 03/31/2019
107670	Lee, Ronessa	No	4	2531 Tripp Dr 4, Reno, 89512	2	\$300.00	\$33.00	33.00
107671	Cunha, Britney N	No	1	2539 Tripp Dr 1, Reno, 89512	2	\$300.00	\$79.00	79.00 01/23/2017
107672	Eagen, Nicole M	No	2	2539 Tripp Dr 2, Reno, 89512	2	\$200.00	\$796.00	796.00
107673	Haro Vazquez, Jessika M	No	3	2539 Tripp Dr 3, Reno, 89512	2	\$300.00	\$833.00	833.00 04/30/2021
107674	Kennedy, Hannah L	No	4	2539 Tripp Dr 4, Reno, 89512	2	\$300.00	\$27.00	27.00 03/31/2022
107675	Martin, Brittany A	No	1	2545 Tripp Dr 1, Reno, 89512	2	\$300.00	\$27.00	27.00 06/30/2021
107676	Aarbane, Amira N	No	2	2545 Tripp Dr 2, Reno, 89512	2	\$300.00	\$27.00	27.00 04/30/2020
107677	Tscheekar, David M	No	3	2545 Tripp Dr 3, Reno, 89512	2	\$200.00	\$190.00	190.00
107678	Emmerson, Marc S	No	4	2545 Tripp Dr 4, Reno, 89512	2	\$300.00	\$192.00	192.00 03/15/2017
107679	Lezama Rojas, Montzerrat	No	1	1532 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$832.00	832.00
107680	Noneo, Natasha	No	2	1532 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$833.00	833.00 02/28/2019
107681	Stirgus, Laquetta D	No	3	1532 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$27.00	27.00 04/30/2020
107682	Figueroa, Miguel A	No	4	1532 Steelwood Ln 4, Reno, 89512	2	\$200.00	\$405.00	405.00
107683	Freeman, Lindsay M	No	1	1540 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$833.00	833.00 01/31/2019
107684	Clark, Wesley M	No	2	1540 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$138.00	138.00
107685	Baker, Brandy M	No	3	1540 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$27.00	27.00 11/30/2018
107686	Gutierrez, William J	No	4	1540 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$27.00	27.00 03/31/2020
107687	Conser, Cynthia C	No	1	1548 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$435.00	435.00 05/31/2020
107688	Seguin, Ashley J	No	2	1548 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$27.00	27.00
107689	Pinon, Ashley R	No	3	1548 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$455.00	455.00 10/31/2020
107690	Nunez, Maria A	No	4	1548 Steelwood Ln 4, Reno, 89512	2	\$200.00	\$265.00	265.00
107691	Coprigh, Andre	No	1	1528 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$227.00	227.00 09/30/2019
107692	Brown, Dejanae J	No	2	1528 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$802.00	802.00 01/22/2018
107693	Kinney, Darla J	No	3	1528 Steelwood Ln 3, Reno, 89512	2	\$200.00	\$27.00	27.00
107694	Tate, Arlo Lamont	No	4	1528 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$166.00	166.00 09/26/2016
107695	Sloan, Trista M	No	1	1536 Steelwood Ln 1, Reno, 89512	2	\$500.00	\$27.00	27.00 12/31/2018
107696	Fine, Ladonia S	No	2	1536 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$27.00	27.00 07/31/2021
107697	Labrador-Berdon, Noreen	No	3	1536 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$221.00	221.00 02/15/2018
107698	Ramirez, Anna C	No	4	1536 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$833.00	833.00 11/25/2016
107699	Delgado, Mayra A	No	1	1544 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$764.00	764.00 12/31/2020
107700	Adkins, Catherine A	No	2	1544 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$296.00	296.00 04/30/2019
107701	Berdon, Stephanie C	No	3	1544 Steelwood Ln 3, Reno, 89512	2	\$200.00	\$215.00	215.00
107702	Lynch, Timothy L	No	4	1544 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$659.00	659.00 08/31/2016

Rent Roll Report

107703	Roa, Steven T	No	1	1504 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$209.00	209.00	04/30/2021
107704	Tolliver, Diana	No	2	1504 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$27.00	27.00	
107705	Saunders, Megan R	No	3	1504 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$585.00	585.00	05/31/2021
107706	Cruz Franco, Juana M	No	4	1504 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$409.00	409.00	04/30/2022
107707	Calderon-Diaz, Victoria	No	1	1512 Steelwood Ln 1, Reno, 89512	2	\$200.00	\$186.00	186.00	
107708	Moreno, Alyssa A	No	2	1512 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$833.00	833.00	11/30/2018
107709	Vacant as of 05/01/2022		3	1512 Steelwood Ln 3, Reno, 89512	2	\$0.00	\$0.00	0.00	
107710	Vacant as of 05/01/2022		4	1512 Steelwood Ln 4, Reno, 89512	2	\$0.00	\$0.00	0.00	
107711	Dannenbring, James S	No	1	1520 Steelwood Ln 1, Reno, 89512	2	\$400.00	\$484.00	484.00	
107712	Arthur, Joline A	No	2	1520 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$27.00	27.00	01/31/2022
107713	Benites Mora, Clodualda	No	3	1520 Steelwood Ln 3, Reno, 89512	2	\$400.00	\$424.00	424.00	
107714	Orosco, Moriah A	No	4	1520 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$310.00	310.00	02/28/2022
107715	Delguidice, Gary M	No	1	1500 Steelwood Ln 1, Reno, 89512	2	\$400.00	\$177.00	177.00	10/18/2016
107716	Garcia, Justina A	No	2	1500 Steelwood Ln 2, Reno, 89512	2	\$500.00	\$597.00	597.00	06/20/2017
107717	Grey, Louis H	No	3	1500 Steelwood Ln 3, Reno, 89512	2	\$200.00	\$256.00	256.00	
107718	Sears, Alicia M	No	4	1500 Steelwood Ln 4, Reno, 89512	2	\$600.00	\$833.00	833.00	
107719	Fong, Jenny K	No	1	1508 Steelwood Ln 1, Reno, 89512	2	\$200.00	\$232.00	232.00	
107720	Gilbert, Dana N	No	2	1508 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$432.00	432.00	08/31/2019
107721	Fields, Latauna N	No	3	1508 Steelwood Ln 3, Reno, 89512	2	\$700.00	\$296.00	296.00	
107722	Dailey, Mi G	No	4	1508 Steelwood Ln 4, Reno, 89512	2	\$300.00	\$308.00	308.00	10/31/2018
107723	Preciado, Maria S	No	1	1516 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$101.00	101.00	10/01/2017
107724	Cowdin, Joyce Kay	No	2	1516 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$183.00	183.00	05/31/2019
107725	Aldrich, Walter B	No	3	1516 Steelwood Ln 3, Reno, 89512	2	\$300.00	\$659.00	659.00	11/30/2018
107726	Johnson, Teresa D	No	4	1516 Steelwood Ln 4, Reno, 89512	2	\$200.00	\$579.00	579.00	
107727	Wirowek, Jennifer B	No	1	1524 Steelwood Ln 1, Reno, 89512	2	\$300.00	\$772.00	772.00	03/31/2022
107728	Lopez Barajas, Flor M	No	2	1524 Steelwood Ln 2, Reno, 89512	2	\$300.00	\$833.00	833.00	06/30/2020
107729	Kang, Rachel M	No	3	1524 Steelwood Ln 3, Reno, 89512	2	\$200.00	\$27.00	27.00	
107730	Lanini, Briella M	No	4	1524 Steelwood Ln 4, Reno, 89512	2	\$700.00	\$692.00	692.00	03/31/2022
Total By Development: Hawk View Apartments						\$30,800.00	\$35,061.00	\$35,058.00	
Total For All Developments:						\$30,800.00	\$35,061.00	\$35,058.00	

End of Report

Development Name:**Hawk View Apartments**

HUD Code:

NV39-P001-007

Location:

1548 Steelwood Lane, Reno NV 89512

Parcel Number:

004-292-17, -18

Program Type:

Conventional Public Housing, Family

Constructed:

1984

End of Initial Operating Period:

4th Quarter, 1984

Physical Data:

Community Facilities:

Community Room, Laundry Room, 2 Playgrounds, Shop

Fully Accessible Units:

5

Gross Site Area:

7 Acres

Units Per Acre:

14.3

Public Asphalt Pavement Area:

21,091 Square Feet

RHA Asphalt Pavement Area:

98,492 Square Feet

Public Concrete Area:

2,860 Square Feet

RHA Concrete Area:

33,088 Square Feet

Accessible Units:

5

Unit No.**Address****Bedrooms****Accommodation**

653

2519#3 Tripp Dr

Two

Roll in Shower

663

2541 #1 Tripp Dr

Two

Roll in Shower

687

1548 #1 Steelwood

Two

Roll in Shower

701

1544 #3 Steelwood

Two

Roll in Shower

703

1504 #1 Steelwood

Two

Roll in Shower

Barrier Free Units:None

Bedroom Size:**0/Studio****1****2****3****4****Total**Number of Units

100

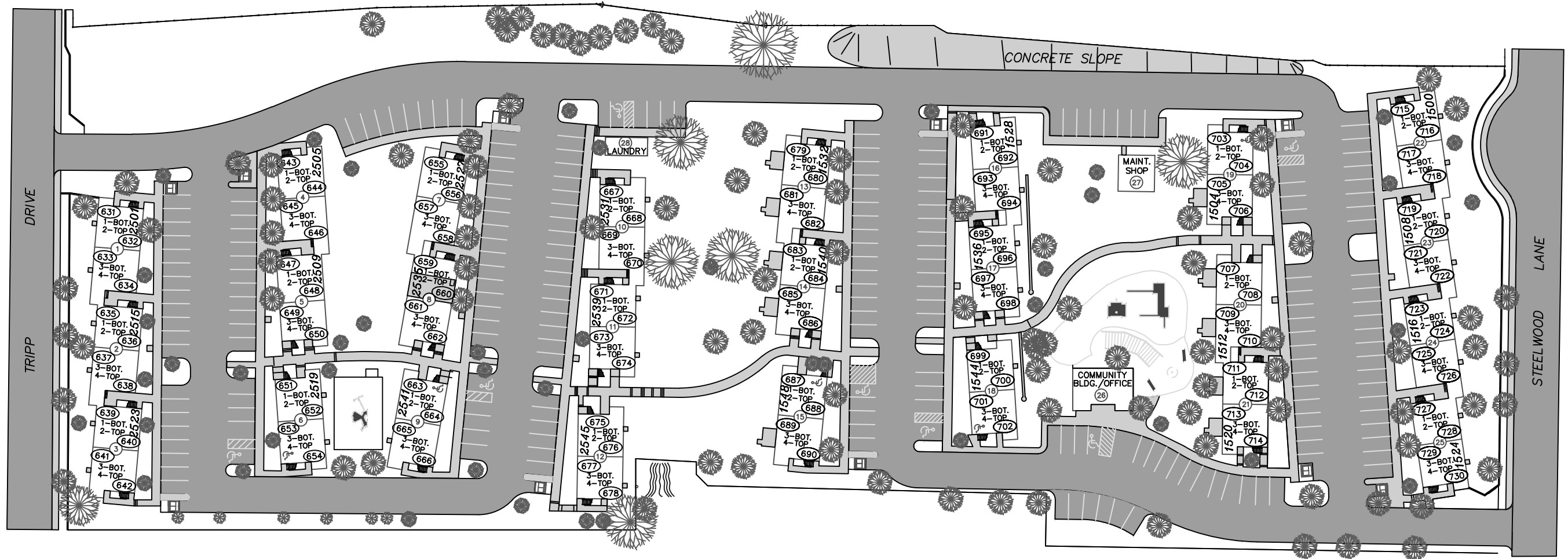
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Square Footage of Units

865

86,500

<u>Recent Modernization:</u>	<u>Year:</u>	<u>Recent Modernization:</u>	<u>Year:</u>
Bathroom, Kitchen Renovation	1996	Appliance Replacement of 24 Ranges	2008
Exterior Light Upgrade	1997	Cable TV Outlet Installation	2009
Fog Seal Parking Lots	1998	Energy Efficient Kitchen Lighting	2009
Sidewalk Replacement	1998	Community Room Floor Repairs	2009
Maintenance Shop Replacement	1998	Patio Installation	2010
Community Center Expansion	1998	Stair Landing Adjustment	2010
Security Screen Doors	1998	Tree Pruning	2010
Bicycle Racks	1998	Stair Step Replacement Phase 2	2010
Closet Door Replacement	1998	Stair Landing	2010
Upgrade Exterior Door Locks	1999	Kitchen Cabinets	2011
Community Building Remodel	1999	Kitchen Countertops	2011
Exterior Trim and Paint	1999	Security Lighting	2011
Playground Improvements	1999	Concrete Repair and Replace	2011
Replace Community Room Roof	2001	Under Floor Insulation	2011
Ceiling Fans	2001	Additional Rain Gutters	2011
Downspout Installation	2001	Post and Chain Fence West Bank	2011
Appliance Replacement	2002	Water Conservation	2011
Window and Trim Replacement	2003	Accessible Kitchens	2011
Roof Replacement	2003	Appliance Replacement	2012
Carpet Upstairs/Vinyl Entry	2003	Turf Removal	2014
Additional Attic Insulation	2003	Laundry Room Remodel	2014
Security Cameras	2004	Asphalt Replacement	2014
Landscape/Xeriscape Improvements	2004	Concrete Replacement	2014
Unit Patios	2005	Landscape Improvements	2014
Concrete Repairs	2005	Turf Reduction	2015
Landscape and Irrigation Improvements	2005	Security Camera Improvements	2015
Furnace Replacement	2005	Appliance Replacement	2015
Air Conditioning Installation in Upstairs Units	2006	Westbank Landscape	2017
Heating Duct Repairs	2006	Irrigation Sleeve Installation	2018
Security Improvements with DV Recorders	2006	Retaining Wall Repair	2019
Concrete Replacement	2006	Appliance Replacement	2019
Air Conditioning Installation in Downstairs Units	2007	Concrete Replacement	2019
Landscape and Irrigation Improvements	2007	Asphalt Replacement	2020
Asphalt Repairs of Parking Lots and Driveways	2008	Retaining Wall Repair	2020
Exterior Vent Replacement	2008		



RENO HOUSING AUTHORITY
 1525 E 9TH ST., RENO NV, 89512
 (775) 329-3630 PH
 (775) 786-1712 FAX

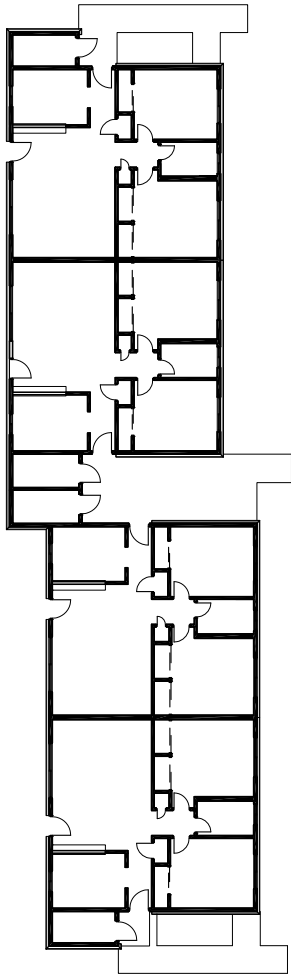


PROJECT NAME:
 HAWK VIEW APARTMENTS
 1548 STEELWOOD LANE

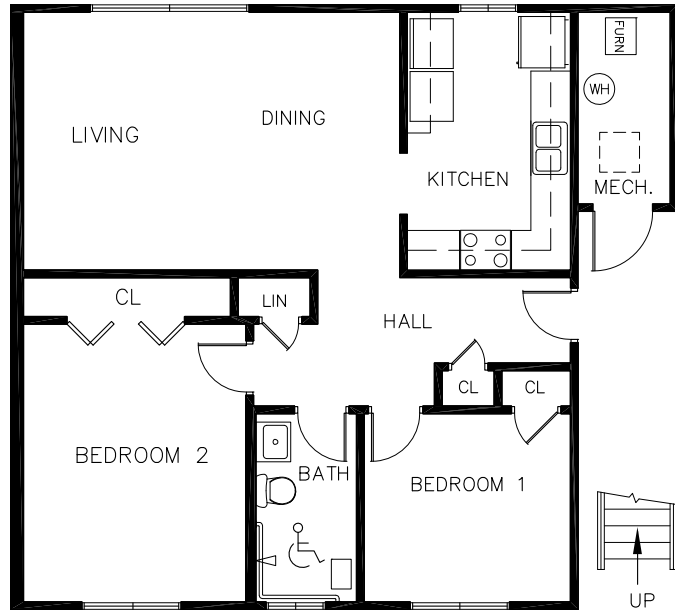
VICINITY MAP

DATE: DECEMBER 2014
 UPDATE: -
 SCALE: NTS

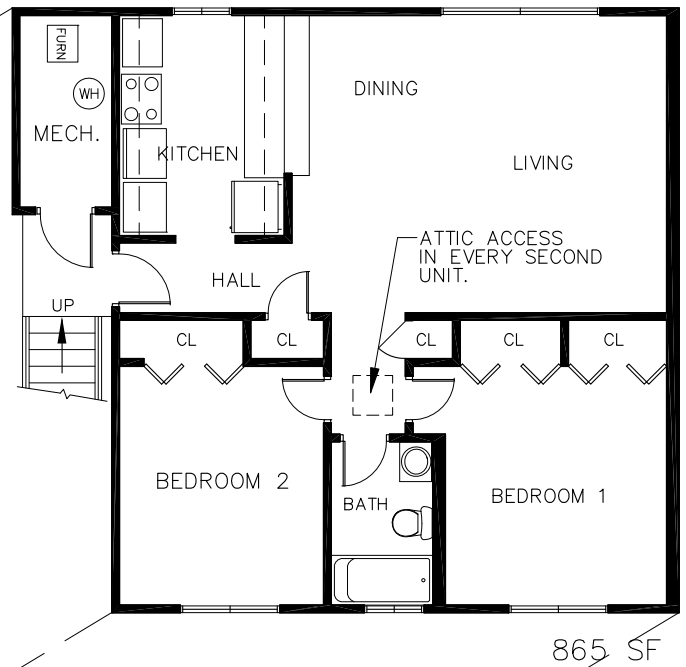




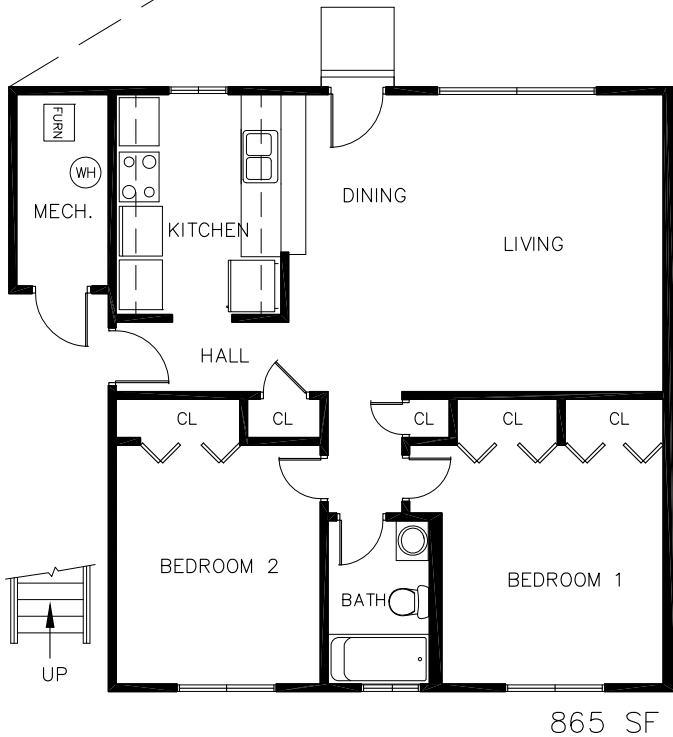
BUILDING PLAN
SCALE: 1"=30'-0"



TYPICAL FLOOR PLAN – ACCESSIBLE UNIT
865 SF
SCALE: 3/32"=1'-0"



TYPICAL SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



TYPICAL FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

RENO HOUSING AUTHORITY
1525 E 9TH ST., RENO NV, 89512
(775) 329-3630 PH
(775) 786-1712 FAX

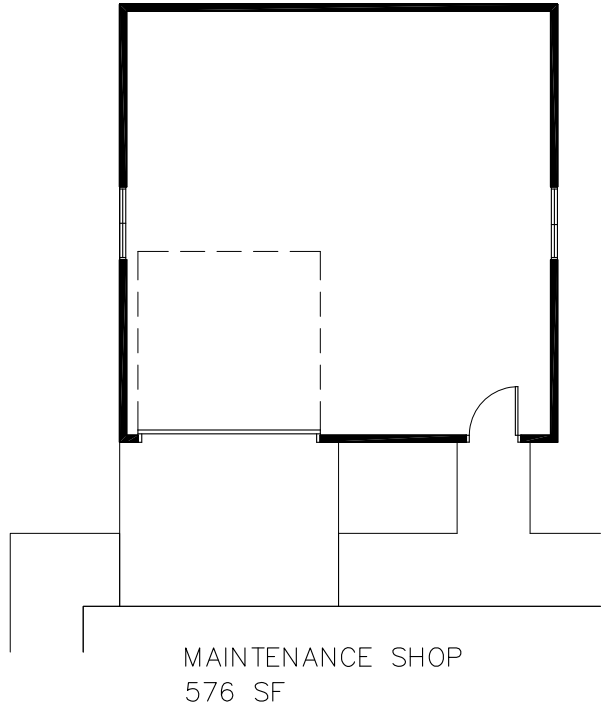


PROJECT NAME:
HAWK VIEW APARTMENTS
1548 STEELWOOD LANE

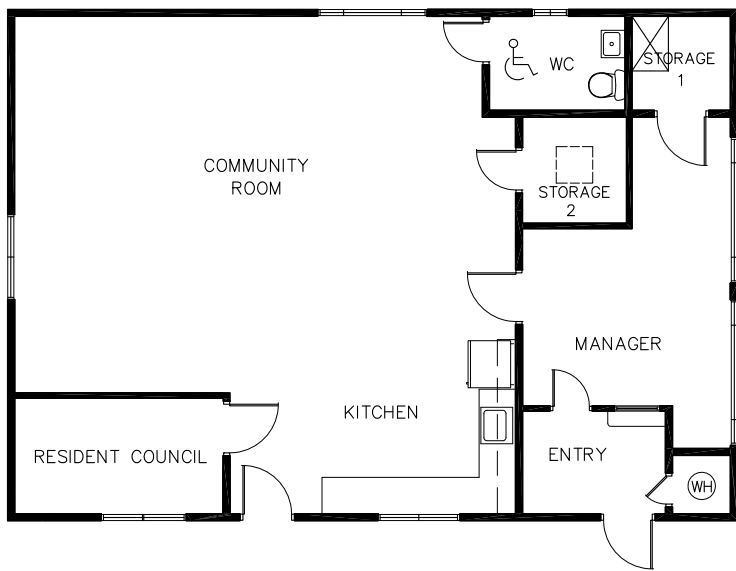
FLOOR PLANS

DATE: MAY 2011
UPDATE: —
SCALE: AS NOTED

RHA 11



MAINTENANCE SHOP
576 SF



COMMUNITY BUILDING/OFFICE
1,057 SF

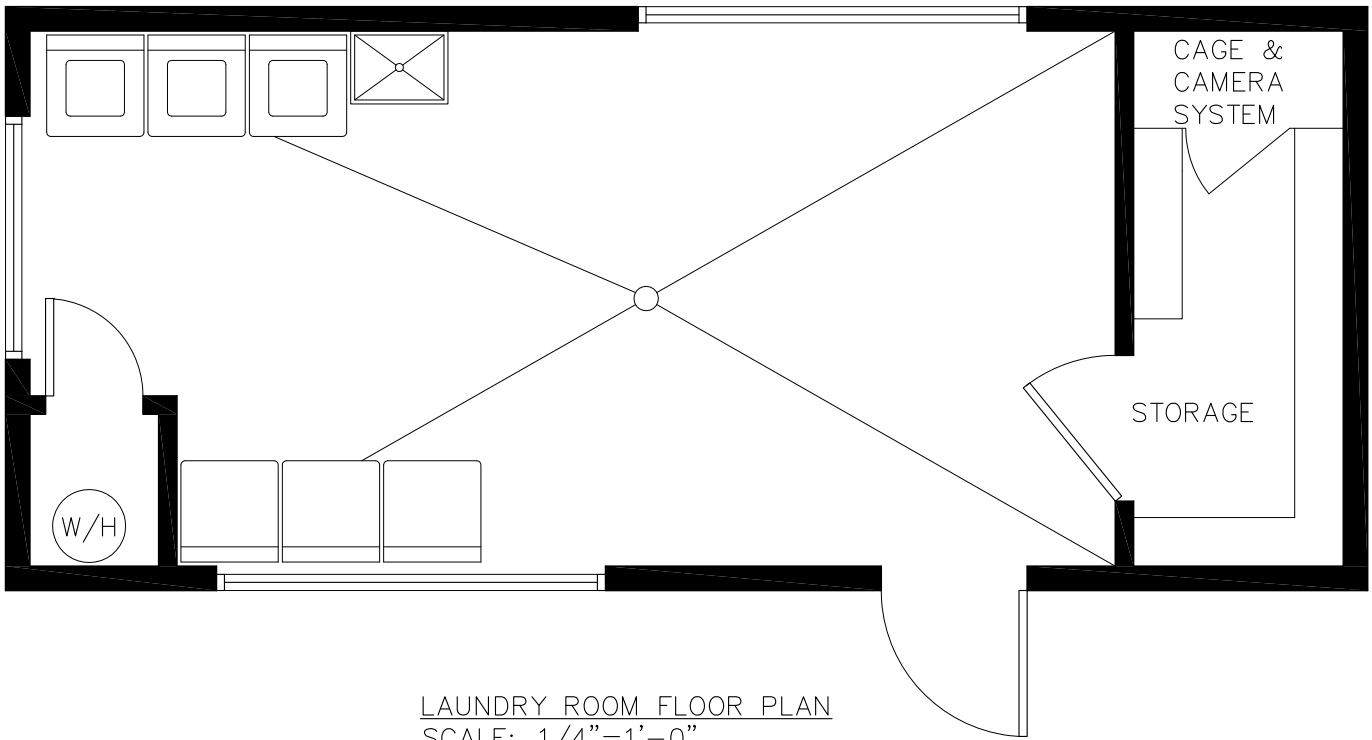
RENO HOUSING AUTHORITY
1525 E 9TH ST., RENO NV, 89512
(775) 329-3630 PH
(775) 786-1712 FAX



PROJECT NAME:
HAWK VIEW APARTMENTS
1548 STEELWOOD LANE
COMMUNITY BUILDING/OFFICE
MAINTENANCE SHOP

DATE: MAY 2011
UPDATE: —
SCALE: 3/32"=1"—0"

RHA 11



LAUNDRY ROOM FLOOR PLAN
 SCALE: 1/4"=1'-0"

RENO HOUSING AUTHORITY
 1525 E 9TH ST., RENO NV, 89512
 (775) 329-3630 PH
 (775) 786-1712 FAX



PROJECT NAME:
 HAWK VIEW APARTMENTS
 1548 STEELWOOD LANE
 LAUNDRY ROOM

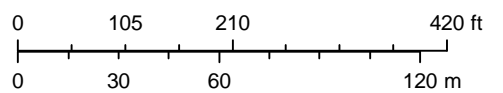
DATE: MAY 2011
 UPDATE: -
 SCALE: 1/4"=1'-0"

RHA 11



May 31, 2022

1:2,257



Washoe County GIS
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

WASHOE COUNTY ASSESSOR PROPERTY DATA

5/31/2022

Owner Information				Building Information		XFOB	SUBAREA	
APN	004-292-17	Card 1 of 14		Bld #1 Situs	1500 STEELWOOD LN	Property Name		
Situs 1	1500 STEELWOOD LN RENO NV 89512	Bld # 1		Quality	C10 Commercial 1.0 (Low)	Building Type	Multiple Res (Low Rise)	
Owner 1	HOUSING AUTHORITY CITY OF RENO			Stories	2	2nd Occupancy		
Mail Address	1525 E 9TH ST RENO NV 89512			Year Built	1984	WAY	1984	
Parcel Information				Bedrooms	8	Square Feet	3560	
				Full Baths	4	Finished Bsmt	0	
				Half Baths	0	Unfin Bsmt	0	
				Fixtures	0	Basement Type		
				Fireplaces	0	Gar Conv Sq Feet	0	
				Heat Type	WARM/COOL AIR		Total Garage Area	0
				2nd Heat Type		Garage Type		
				Exterior Walls	STUD WALLS - TEXTURED PLYWOOD		Detached Garage	576
				2nd Ext Walls	STUD WALLS - BRICK VENEER		Basement Gar Door	0
				Roof Cover		Sub Floor		
				% Complete	100	Frame	WD/STL FRAME	
				Obso/Bldg Adj	0	Units/Bldg	4	
				Construction Modifier		Units/Parcel	53	
Keyline Desc	PJ KELLY'S FRAC LOTS 10 & 11							
Subdivision	P J KELLY` S SUBDIVISION							
		Section	36	Township	20			
		Range	19					
Record of Survey Map : Parcel Map# 0 : Sub Map#								
Special Property Code			023					
2022 Tax District	1000	Prior APN						
2021 Tax District	1000	Tax Cap Status	Use does not qualify for Low Cap, High Cap Applied					
PERMITS		wjackins 11/16/2020						

Land Information				LAND DETAILS			
Land Use	340	DOR Code	340	Sewer	Municipal	Neighborhood	MMMM MM Neighborhood Map
Size	165,266.64 SqFt	Size	3.794 Acres	Street	Paved	Zoning Code	MF30
				Water	Muni		

Sales and Transfer Records

RECORDER SEARCH

Grantor	Grantee	Doc #	Doc Type	Doc Date	DOR Code	Value/Sale Price	Sale Code	Note
	HOUSING AUTHORITY CITY OF RENO	887441		10-25-1983		0		

Valuation Information ⚠ The 2022/2023 values are preliminary values and subject to change.

	Taxable Land	New Value	Taxable Imps	OBSO	Tax Cap Value	Taxable Total	Land Assessed	Imps Assessed	Total Assessed	Exemption Value
2022/23 NR	780,000	0	1,580,508	0		2,360,508	273,000	553,177	826,178	826,178
2022/23 VN	780,000	0	1,580,508	0		2,360,508	273,000	553,177	826,178	826,178
2021/22 FV	624,000	0	1,646,793	0	2,270,795	2,270,793	218,400	576,377	794,778	794,778



All parcel data on this page is for use by the Washoe County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Washoe County Assessor's Office as of 05-30-2022

If you have questions or corrections about our property data you can call us at 775-328-2277 or email us at exemptions@washoecounty.gov



November 24, 2020

Matthew Robinson
City of Reno Housing Authority
Email: mrobinson@renoha.org

Re: Interior Foundation Stabilization
Hawk View Apartments
1524 Steelwood Ln,
Reno, NV 89512

Matthew,

McElhaney Structural engineers have performed the structural reconnaissance for the interior foundation at aforementioned address for building at the aforementioned address. The buildings are a 2-two story wood structure with a concrete perimeter continuous footing and interior cripple wall over a concrete continuous footing. It appears that the interior concrete footings are settling, causing cracks to form on the ceiling and walls of the apartment units. It appears that the structure rest on clay soil and to our best engineering judgement this appears to be the primary contributing factor for the interior footing settlement. The interior footing appears to show significantly more settlement than the exterior due to more tributary load and less soil embedment.

We have performed the structural analysis to stabilize the interior footing and found that push piers are the recommended solution. This push pier system would avoid having to drill from the first-floor apartments, therefore allowing the apartments to remain occupied during construction. Refer to the drawings for the push pier locations.

Below is the Material cost and labor for each building. This quote is provided the Madole Construction based on the information provided by us.

- 1) (10) 288 Push pile 15 LF with bracket \$6,278.50
 - 2) Install Labor 3-man crew allow 60 hours each Excavate access pit, set push frame, push pipe to depth, set bracket, backfill access pit \$18,000.00
 - 3) Equipment allowance \$3,000.00
 - 4) (10) Smart jacks \$4,000.00
 - 5) LVL Beams \$4.25 per foot \$701.25
 - 6) Carpentry labor to remove existing pony wall, install smart jacks, and LVL \$3,600.00
 - 7) Overhead 6,803.34
- Total \$42,383.09**

Sincerely,

McElhaney Structural Engineers, LLC
Brett A. McElhaney, MBA, MS, PE, SE
Sai Enugala, PE



Hawk View Apartments

1548 Steelwood Ln, Reno, NV 89512, USA

Latitude, Longitude: 39.5542233, -119.7934475



Date	6/1/2022, 9:34:19 AM
Design Code Reference Document	ASCE41-13
Custom Probability	
Site Class	A - Hard Rock

Type	Description	Value
Hazard Level		BSE-2N
S _s	spectral response (0.2 s)	1.5
S ₁	spectral response (1.0 s)	0.515
S _{XS}	site-modified spectral response (0.2 s)	1.2
S _{X1}	site-modified spectral response (1.0 s)	0.412
F _a	site amplification factor (0.2 s)	0.8
F _v	site amplification factor (1.0 s)	0.8
ssuh	max direction uniform hazard (0.2 s)	1.61
crs	coefficient of risk (0.2 s)	0.951
ssrt	risk-targeted hazard (0.2 s)	1.531
ssd	deterministic hazard (0.2 s)	1.5
s1uh	max direction uniform hazard (1.0 s)	0.544
cr1	coefficient of risk (1.0 s)	0.945
s1rt	risk-targeted hazard (1.0 s)	0.515
s1d	deterministic hazard (1.0 s)	0.6

Type	Description	Value
Hazard Level		BSE-1N
S _{XS}	site-modified spectral response (0.2 s)	0.8
S _{X1}	site-modified spectral response (1.0 s)	0.275

Type	Description	Value
Hazard Level		BSE-2E
S_S	spectral response (0.2 s)	1.133
S_1	spectral response (1.0 s)	0.375
S_{XS}	site-modified spectral response (0.2 s)	0.907
S_{X1}	site-modified spectral response (1.0 s)	0.3
f_a	site amplification factor (0.2 s)	0.8
f_v	site amplification factor (1.0 s)	0.8

Type	Description	Value
Hazard Level		BSE-1E
S_S	spectral response (0.2 s)	0.553
S_1	spectral response (1.0 s)	0.179
S_{XS}	site-modified spectral response (0.2 s)	0.442
S_{X1}	site-modified spectral response (1.0 s)	0.143
F_a	site amplification factor (0.2 s)	0.8
F_v	site amplification factor (1.0 s)	0.8

Type	Description	Value
Hazard Level		TL Data
T-Sub-L	Long-period transition period in seconds	6

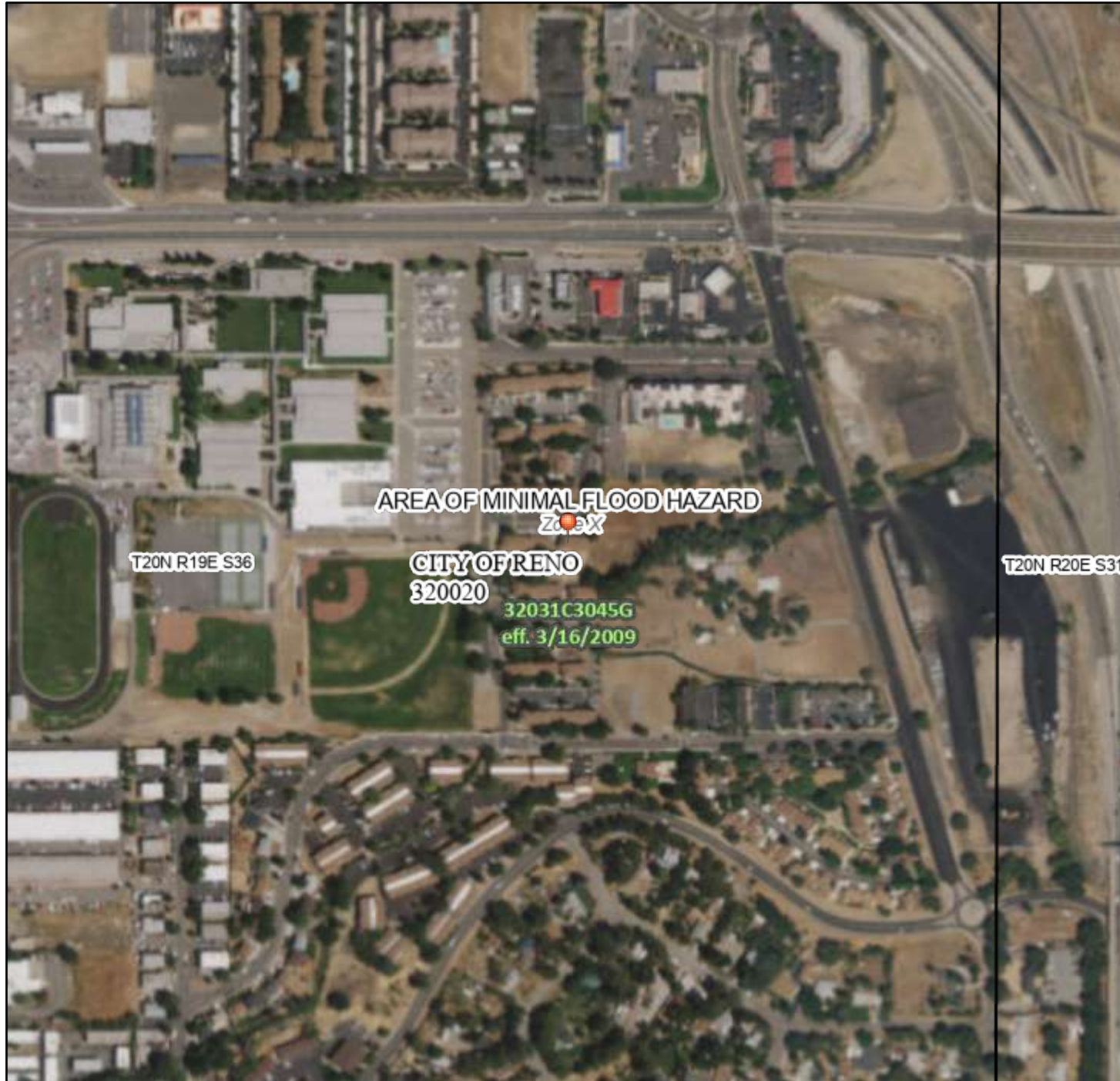
DISCLAIMER

While the information presented on this website is believed to be correct, [SEAOC / OSHPD](#) and its sponsors and contributors assume no responsibility or liability for its accuracy. The material presented in this web application should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. SEAOC / OSHPD do not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the seismic data provided by this website. Users of the information from this website assume all liability arising from such use. Use of the output of this website does not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the search results of this website.

National Flood Hazard Layer FIRMette



119°47'54"W 39°33'29"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

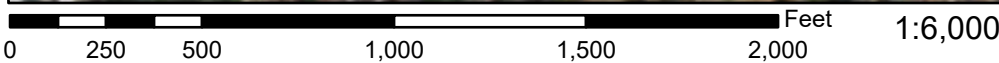
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **6/3/2022 at 4:08 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



119°47'16"W 39°33'1"N

From: [Public Records Center \(Reno NV\)](#)
To: [Maggie Castelli](#)
Subject: Public Records :: G076118-032122
Date: Monday, March 21, 2022 3:26:13 PM



Dear Maggie:

Thank you for your interest in public records of the City of Reno.

Your request was received in this office on March 21, 2022 and given the reference number: **#G076118-032122** for tracking purposes.

***Request Details:** AEI Consultants has been commissioned to complete a Project Capital Needs Assessment and/or Phase I Environmental Site Assessment for the following properties and addresses: Mineral Manor, 1633 Andesite Avenue Tom Sawyer Village, 2565 Tom Sawyer Drive Silverada Manor, 1402 Silverada Boulevard Stead Manor, 5062 Bravo Avenue Haw View Apartments, 1548 Steelwood Lane Essex Manor, 7760 Carlyle Drive Myra Birch Manor, 3500 Mazzone Avenue Are these properties within your jurisdiction? As part of this assessment, and due diligence, we are required to request the following information, including, but not limited to the following: Building Department for any copies of Certificates of Occupancy and building permits from the last 10 years (year, type of permit, and owner/applicant), as well as the following information regarding building codes: 1. Building code enforced at the time the property was constructed. 2. Additional building codes enforced at the property since construction. 3. Current building code enforced by the municipality. 4. Copies of any outstanding building code violations. Planning and Zoning the current zoning classification of the property; AND copies of any outstanding zoning code violations. Who would be the appropriate contacts to provide all necessary information and documents? Please notify me in advance if there are fees with this request.*

Your request will be forwarded to the appropriate City department(s) to locate the information requested. Pursuant to NRS 239.0107 we will notify you within five (5) business days of receipt of the anticipated date your records will be available, and any estimated cost to produce them. Please note any confidential, proprietary, or protected information will be redacted prior to the release of your records.

You can monitor the progress of your request at the link below and you'll receive an email when your request has been completed.

Again, thank you for using the City of Reno Public Records Center.



To monitor the progress or update this request please log into the [City of Reno Public Records Center](#).

From: [Public Records Center \(Reno NV\)](#)
To: [Maggie Castelli](#)
Subject: Fire Department Public Records :: F076116-032122
Date: Monday, March 21, 2022 3:24:08 PM



Dear Maggie:

Thank you for your interest in public records of the City of Reno Fire Department.

Your request was received in this office on March 21, 2022 and given the reference number: **#F076116-032122** for tracking purposes.

Type of Record Requested:

Your request will be forwarded to the appropriate City department(s) to locate the information requested. Pursuant to NRS 239.0107 we will notify you within five (5) business days of receipt of the anticipated date your records will be available, and any estimated cost to produce them. Please note any confidential, proprietary, or protected information will be redacted prior to the release of your records.

You can monitor the progress of your request at the link below and you'll receive an email when your request has been completed.

Again, thank you for using the City of Reno Public Records Center.



To monitor the progress or update this request please log into the [City of Reno Public Records Center](#).



Public Records Center

 MENU

**Public
Records
Menu**

FAQs

See All FAQs 

What types of
records are

Question:

How can I obtain a zoning verification letter?

Answer:

The City of Reno does not prepare formal zoning verification letters, however, the following information is available online:

license from the City of Reno?

Can I get a copy of a divorce Decree from the City of Reno?

Can I get a copy of a birth or death certificate from the City of Reno?

What is the City Clerk's Office?

How can I obtain a zoning verification letter?

Can I obtain information on the City of Reno's Sphere of Influence?

You can also download a full pdf of the code here www.reno.gov

[Reno Master Plan](#)

[Adopted PUD and SPD Handbooks](#)

The City of Reno offers an online [GIS Mapserver](#) with information on zoning, sewers, parcels, aerial photography and more. The [Virtual Permit Place](#) allows citizen access to City data on parcels, planning case information and building permit information.

The Reno Planning Department cannot provide confirmation that all development, structures and uses on a site are conforming. All inquiries regarding existing or closed violations go through the City's [Code Enforcement](#) division.

Management
Rate Sheet?

What is the
Mission
Statement of the
City Clerk's
Office



March 21, 2022

Parcels (No Labels)

Reno City Limits Outline

Zoning Designations (No Labels)

Arterial Commercial

Hotel Casino

Single-Family Residential (3 units/ acre) SF-3

Single-Family Residential (5 units/ acre) SF-5

Single-Family Residential (6 units/ acre) SF-6

Single-Family Residential (8 units/ acre) SF-8

Single-Family Residential (9 units/ acre) SF-9

Single-Family Residential (11 units/ acre) SF-11

Multi-Family Residential (14 units/ acre) MF-14

Multi-Family Residential (21 units/ acre) MF-21

Multi-Family Residential (30 units/acre) MF-30

Large Lot Residential (0.5 acres) LLR-0.5

Large Lot Residential (1 acre) LLR-1

Large Lot Residential (2.5 acres) LLR-2.5

Mixed-Use Urban MU

Mixed Use Suburban MS

Neighborhood Commercial NC

General Commercial GC

Professional Office PO

Mixed Employment ME

MU-RES

MU-MC

Mixed-Use Airport MA

Mixed-Use Downtown Entertainment Dist. MD-ED

Mixed-Use Downtown Innovation Dist. MD-ID

Mixed-Use Downtown N.W. Quad. Dist. MD-NWQ

Mixed-Use Downtown Riverwalk Dist. MD-RD

Mixed-Use Downtown University Dist. MD-UD

Mixed-Use Downtown Powning Dist. MD-PD

Industrial I

Industrial Commercial IC

1:2,257

0 0.02 0.04 0.08 mi

0 0.03 0.07 0.13 km

Maxar, Microsoft, Esri, HERE, Garmin, GeoTechnologies, Inc., City of Reno GIS

From: [Public Records Center \(Reno NV\)](#)
To: [Maggie Castelli](#)
Subject: Public Records :: G076118-032122
Date: Monday, March 21, 2022 8:20:38 PM

--- Please respond above this line ---



Dear Maggie,

RE: Public Records Request Reference # G076118-032122.

The City of Reno received a public records request from you on March 21, 2022.
Your request mentioned:

AEI Consultants has been commissioned to complete a Project Capital Needs Assessment and/or Phase I Environmental Site Assessment for the following properties and addresses:

*Mineral Manor, 1633 Andesite Avenue
Tom Sawyer Village, 2565 Tom Sawyer Drive
Silverada Manor, 1402 Silverada Boulevard
Stead Manor, 5062 Bravo Avenue
Haw View Apartments, 1548 Steelwood Lane
Essex Manor, 7760 Carlyle Drive
Myra Birch Manor, 3500 Mazzone Avenue*

Are these properties within your jurisdiction?

As part of this assessment, and due diligence, we are required to request the following information, including, but not limited to the following:

Building Department for any copies of Certificates of Occupancy and building permits from the last 10 years (year, type of permit, and owner/applicant), as well as the following information regarding building codes:

- 1. Building code enforced at the time the property was constructed.*
- 2. Additional building codes enforced at the property since construction.*
- 3. Current building code enforced by the municipality.*
- 4. Copies of any outstanding building code violations.*

Planning and Zoning the current zoning classification of the property; AND copies of any outstanding zoning code violations.

Who would be the appropriate contacts to provide all necessary information and documents? Please notify me in advance if there are fees with this request.

Our office has reviewed its files and determined there are no open or outstanding code

enforcement violations associated with these properties at this time.

If you have any additional questions, please feel free to contact the City Clerk's Office Public Records Division at 775-348-3932.

Thank you for contacting the City of Reno.

Sincerely,

City of Reno
Code Enforcement Division

To monitor the progress or update this request please log into the [City of Reno Public Records Center](#).



City of Reno Building Permit

Total Fees Due: \$171.49

Permit Number: BLD20-08982

Total VMTs:

Address: 1500 STEELWOOD LN

Job Type: Building/Commercial/Rockery & Retaining Walls/NA

Parcel No: 004-292-17

Zoning: MF-30

Type:

Dwelling Units: 0

Height:

Area(Sq.Ft.):

Subdivision: PJ KELLY'S

Lot: 10, 11

Valuation: \$ 12,000.00

Occupancy:

Group:

Fire Sprinklers:

Fire Alarm:

Stories:

Owner Information:

HOUSING AUTHORITY CITY OF RENO
1525 E 9TH ST ,
RENO, NV 89512

Tenant Information:

HOUSING AUTHORITY CITY OF RENO
1525 E 9TH ST
RENO, NV 89512

Builder / General Contractor:

BLACK DEVELOPMENT GROUP INC
350 DAWSON JACOB LN
RENO, NV 89503
775-322-4341
NV Lic.: 0075874

Description of Work to Be Done

RETAINING WALL.

REPAIR EXISTING RETAINING WALL

NOTICE

- The Building Permit and a full set of City of Reno APPROVED plans must be kept on the work site until completion of the project. Building permits issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance.
- Work permitted under this permit is only valid upon completion of all required inspections.
- All work being performed must comply with all provisions of Building Codes and Ordinances as adopted by the City of Reno whether specified on plans or not.
- Approval of construction plans as submitted and granting of a permit shall not be construed as approval of any pre-existing conditions which may be in violation of current codes.

1500 STEELWOOD LN LOT: 10, 11

Inspection Record

***Additional Inspections may be required**

Inspector Signature

Date

Final Inspections

8800 Retaining Wall Final

8887 1704 Spec Insp Final Rep

PERMIT NUMBER: BLD20-08982

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit Issuance, you may schedule inspections 24 hours a day using a computer online at <https://permits.ci.reno.nv.us> or with our mobile app. Text notification will be sent between 7:00 a.m. and 7:30 a.m. to the mobile phone number provided during scheduling. Your inspector will indicate an estimated time of arrival. If a text was not possible, your inspector will arrive at the job site between 7:30 a.m. and 3:00 p.m. For help or assistance call (775) 334-2063.

Health Inspections (Washoe County Health District - WCHD):

• ONLY accept inspection requests BY PHONE •

Please call (775) 328-2434 (option #8) to schedule all required Health Inspections which begin with the letter "H."

Fire Department Inspections:

Fire Department inspections should be requested for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day to schedule the actual date and time of the inspection using the telephone number provided either online or on the mobile app.

Scan QR code for your device



or search your
App Store
for

"Reno Building
Inspections"





City of Reno Building Permit

Total Fees Due: \$205.81

Permit Number: BLD19-06424

Total VMTs:

Address: 1500 STEELWOOD LN

Owner Information:

HOUSING AUTHORITY CITY OF RENO

Job Type: Building/Commercial/Remodel & Addition/NA

1525 E 9TH ST.
RENO, NV 89512

Parcel No: 004-202-17

Valuation: \$ 15 000.00

Zoning: Public Facility

Occupancy:

Type:

Group:

Dwelling Units: 0

Fire Sprinklers: No

Height:

Fire Alarm: No

Area(Sq.Ft.):

Stories:

Subdivision:

Lot:

Tenant Information:

HOUSING AUTHORITY CITY OF RENO
1525 E 9TH ST
RENO, NV 89512

Description of Work to Be Done

CMU WALL..

CMU WALL REPAIR 24' L X8'H AS PER PLANS

Builder / General Contractor:

BLACK DEVELOPMENT GROUP INC
380 DAWSON JACOB LN
RENO, NV 89503
775-377-4341
NV Lic.: 0075874

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liabilities that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain/maintain commercial liability insurance covering it during the term of the construction authorized by this permit in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By

Date 1-7-19

Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED

Building and Safety Division CITY OF RENO

BUILDING DIVISION

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

**ALL INSPECTIONS MUST
BE COMPLETED**

SMALL DOCS ONLY

1500 STEELWOOD LN LOT:

Inspection Record

Inspector Signature

Date

Building Inspections

8-24 Group

Final Inspections

0900 Reswing Walk Final

PERMIT NUMBER: BLD19-06424

POST THIS PERMIT IN A CONSPICUOUS PLACE

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit issuance, you may schedule inspections 24 hours a day using a computer online at renobuilding.com or with our mobile app. Text notification will be sent between 7:00 a.m. and 7:30 a.m. to the mobile phone number provided during scheduling. Your inspector will indicate an estimated time of arrival. If a text was not possible, your inspector will arrive at the job site between 7:30 a.m. and 3:00 p.m. For help or assistance call (775) 334-2063.

Health Inspections (Washoe County Health District - WCHD):

- ONLY accept inspection requests BY PHONE -
Please call (775) 328-2434 (option #4) to schedule all required Health Inspections which begin with the letter "H."

Fire Department Inspections:

Fire Department inspections should be requested for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day to schedule the actual date and time of the inspection using the telephone number provided either online or on the mobile app.

NOTICE:

This Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance the IBC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair, as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified on plans or not, shall be complied with.

FREE inspection request app

Scan QR code for your device



or search your
App Store
for

"Reno Building
Inspections"





City of Reno Building Permit

Total Fees Due: \$41.25

Permit Number: BLD19-05862

Total VMTs:

Address: 150B STEELWOOD LN 3

Owner Information:

HOUSING AUTHORITY CITY OF RENO

Job Type: Building/Commercial/Plumbing/NA

1525 F 9TH ST
RENO, NV 89512

Parcel No: 004-282-17

Valuation: \$ 1,976.00

Zoning: Public Facility

Occupancy:

Type:

Group:

Dwelling Units: 0

Fire Sprinklers:

Height:

Fire Alarm:

Tenant Information

Area(Sq.Ft.):

Stories:

Subdivision:

Lot:

Builder / General Contractor:

Description of Work to Be Done

MICHAELS PLUMBING & DRAIN SERVICE
673 KRESGE LN
SPARKS, NV 89431
775-355-1611

WATER HEATER.

CHANGE OUT 30 GAL GAS WATER HEATER WITH 40 GAL
GAS WATER HEATER.

NV Lic.: 60226

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain maximum commercial liability insurance covering it during the term of the construction authorized by this permit, in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By Email Date 1/9/19

Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations and Ordinances of the City of Reno.

APPROVED

Building and Safety Division

CITY OF RENO
BUILDING DEPT.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

**ALL INSPECTIONS MUST
BE COMPLETED**

1508 STEELWOOD LN 3 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections
B526 Minorstar

Final Inspections
B573 Plumbing Final

PERMIT NUMBER BLD19-05062

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit issuance, you may schedule inspections 24 hours a day using a computer online at tags.rognerly.us or with our mobile app. Text notification will be sent between 7:00 a.m. and 7:30 a.m. to the mobile phone number provided during scheduling. Your inspector will indicate an estimated time of arrival. If a text was not possible, your inspector will arrive at the job site between 7:30 a.m. and 3:00 p.m. For help or assistance call (775) 334-2003.

Health Inspections (Washoe County Health District - WCHD):
- ONLY accepts inspection requests BY PHONE -
Please call (775) 328-2434 (option #4) to schedule all required Health Inspections which begin with the letter "H."

Fire Department Inspections:
Fire Department inspections should be requested for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day to schedule the actual date and time of the inspection using the telephone number provided either online or on the mobile app.

NOTICE.

The Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance with the IBC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all logging and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair, as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified or plans or not, shall be complied with.

FREE inspection request app

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App Store
for
"Reno Building
Inspections"





EZ BUILDING PERMIT APPLICATION

City of Reno
Building & Safety Division
Community Development Department
1 F First St., 2nd floor, PO Box 1900, Reno, NV 89505
permits@reno.gov (775)334-2063

Commercial & Residential

Permit # BLD19-05862

Rec'd by: DCA

Choose one: Commercial OR Residential

This application is for minor electrical, mechanical and plumbing (without plans) and other over-the-counter projects listed below only. INCOMPLETE applications will not be processed. Email completed application to permits@reno.gov

Parcel Number: 004-292-17 Address: 1508 Steelwood Ln #3 Reno, NV 89512

Description of Work:

Replace 30 gal natural gas water heater with new 40 gal natural gas water heater

Owner Information: Business Name (Com): Reno Housing Authority

Owner Name: _____ Phone: 775-329-3650

Address: 1525 E 9th St Reno, NV 89512

Contractor Information:

Contractor: Michael's Plumbing Heating & Air Contact Name: Sandy Lopez

Address: 670 Yering Ln Sparks, NV 89431

Email address: service@michaelsplumbing.net Phone#: 775-355-1161

Nevada Contractor Lic No and Classification: 60226 City Business License No.: _____

Project Information:

Contract Amount \$ <u>1,976.90</u>	(Cost of materials and labor/valuation per IRC 108.3)		
Furnace Installations	Water Heater	Electrical & Plumbing	ReRoof (same material)
<input type="checkbox"/> Gas Change out _____ BTU's	<u>40</u> gallons	<input type="checkbox"/> Elec Service Change _____ # of Amps	<input type="checkbox"/> Tear off
<input type="checkbox"/> Oil Change out	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Water Line Replacement	<input type="checkbox"/> Composition
<input type="checkbox"/> New Furnace BTU's _____ _____ ft of gas line	<input type="checkbox"/> Electric	<input type="checkbox"/> Sewer line Replacement (Private Property only)	<input type="checkbox"/> Recover-MAX 2 layers
<input type="checkbox"/> Gas to Electric	<input type="checkbox"/> Electric to Gas	<input type="checkbox"/> Gas line Add/Replace _____ feet	<input type="checkbox"/> Add sheathing
<input type="checkbox"/> Oil to Gas BTU's _____	<input type="checkbox"/> Relocate	<input type="checkbox"/> NV Energy hazard	<input type="checkbox"/> Indicate other: _____
<input type="checkbox"/> AC _____ tons		<input type="checkbox"/> Lawn Sprinklers (Residential)	

****Important****

Pick up permit at Building Permit counter

Pay and print online

RECEIVED

JAN 04 2019

CITY OF RENO
Development Dept.

Other

Window Replacement

Siding

Stucco

- ❖ I understand that this application does not guarantee permit issuance nor allow work to commence
- ❖ I certify that I have the authority and authorization of the property owner to obtain this permit and that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno.
- ❖ I assume full responsibility for compliance with the adopted Building Codes (I.B.C.) and all other applicable City of Reno Ordinances.
- ❖ I agree to abide by all conditions on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of my signature on the permit

Sandy Lopez [Signature] 1/9/19

Print Name: _____ Signature: _____ Date: _____



**City of Reno
Building Permit**

Total Fees Due: \$40.30

Permit Number: BLD19-04166

Address: 1500 STEELWOOD LN #

Job Type: Building/Commercial/Plumbing/ID

Parcel No: 04424348 140000
 Zoning: Undefined
 Type: Group
 Dwelling Units: 0
 Height: Fire Sprinklers:
 # of Sq Ft: Fire Alarm
 Subcategory: Slopas:
 Lot:

Owner Information:
 RENO HOUSING AUTHORITY
 8325 E 9TH ST
 RENO, NV

Filing Information:
 RENO HOUSING AUTHORITY
 8325 E 9TH ST
 RENO, NV

Description of Work to be Done:
 WATER HEATER
 GAS TO GAS, 40 GALLON WATER HEATER CHANGE OUT

Builder/Owner/Contractor:
 MICHAELS PLUMBING & DRAIN SERVICE
 610 KRESGE LN
 SPARKS, NV 89434
 735.255.1643
 NV Lic.: 000006

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents, their heirs, legal representatives, assigns or successors from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Reno, its officers, employees or agents, their heirs, legal representatives, assigns or successors, in connection with the performance of the work under this permit, whether or not such claims, damages, losses or expenses are caused in whole or in part by the negligence of the undersigned.

The undersigned agrees to obtain and maintain commercial general liability coverage during the term of the application (extended by the permit) at an amount not less than the limit established in the City of Reno Building and Planning Code. The undersigned agrees to obtain and maintain such coverage as well as any additional coverage as may be required by the City of Reno Building and Planning Code. The undersigned agrees to obtain and maintain such coverage as well as any additional coverage as may be required by the City of Reno Building and Planning Code.

By _____ Date _____
 Builder/General Contractor of the Undersigned Agent

Building Permit
 This license is hereby granted in accordance with the provisions of the application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED
 [Signature]
 Building and Planning Division

CITY OF RENO
 BUILDING DIVISION

PERMIT EXPIRATION
 In accordance with the NBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

ALL INSPECTIONS MUST BE COMPLETED

1500 STEELWOOD LN 4 LOT.

Inspection Record
Inspector Signature

Date

Planning Inspector

PHD Director

Construction

PHD Planning Dept

PERMIT NUMBER: BLD19-04169

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is required to remove this record from the job site and all local newspapers upon completion.

After Permit issuance, you may schedule inspections 24 hours a day using a consumer service at PHD.RenoNV.gov or with the mobile app. The notification will be sent between 7:00 AM and 7:00 P.M. on the mobile phone number provided during the permit. Your inspectors will indicate an estimated time of arrival. If a permit not posted, you may call the permit number and you are advised 24 hours a day and 24/7 per. For help or assistance call (775) 334-2863.

Northwest section of Washoe County North District - BLD19

- ONLY access inspection requests BY PHONE -

Please call (775) 334-2863 for more info schedule of requests. PHD's listed on which begin with the letter "N"

For Department Inspections

For Department inspections must be requested for the "Meet Business Day" regardless of the date received. A Fee Inspector will call the permit holder to schedule the actual date and time of the inspection using the telephone number provided upon review of the mobile app.

NOTICE

This permit shall be a minimum 100% of approved after standard permit. Approval shall be on the job site at all times and the permittee shall provide for inspection requests. Plans are approved at construction site and except that there is no standard time of approval before construction is required in most areas. The Reno Building Permit shall require a copy of all plans and field reports. Any change in the approved drawings shall be submitted in writing for approval. Plans or issues, all permits, technical, code and general information with PHD. Construction, inspection and change shall comply with the RBC 30% minimum completion under all building codes.

Corrections and modifications at 100% or more are subject to analysis of building codes and standards as adopted by the City of Reno (plans specified on plans or the shall be complete).

FREE inspection request app

Scan QR code for your device



or search your
App Store
for
"Reno Building
Inspections"





BUILDING PERMIT APPLICATION

Commercial & Residential

City of Reno
Building & Safety Division
Community Development Department
1 E. First St. 2nd Floor PO Box 2900 Reno, NV 89505
permits@reno.gov (775) 334-2063

Parcel # 00429217
Rec'd by _____

Choose one: Commercial OR Residential

This application is for minor electrical, mechanical and plumbing (without gas) and other over-the-counter projects listed below only. **INCOMPLETE** applications will not be processed. Final complaint application to www.ireno.gov

Parcel Number: 004-292-17 Address: 1500 STELLWOOD LN #4, RENO 89512
Description of Work:

Direct change out of 40 gallon Natural gas water heater with all code upgrades.

Owner Information Business Name (Comp) Housing Authority City of Reno
Owner Name: _____ Phone 775-329-3430
Address: 1525 E 9TH ST RENO NV 89512

Contractor Information:
Contractor Business Name (Comp) Plumbing Heating & Air Contact Name: Katie Sanyal
Address: 630 Kresge Ln Sparks NV 89512
Email address: SparksPlumbing.net Phone: 775-352-1413
Nevada Contractor Lic. No. and Classification: 60826 City Business License No. _____

Project Information

Contract Amount \$ <u>600.00</u>	(Cost of materials and labor/valuation, per IRC 108.3)	
Furnace Installation <u>Water Heater</u>	Electrical & Plumbing	Roof/Gutter/Weather
<u>40 gallons</u>		
<input type="checkbox"/> Gas Change out	<input type="checkbox"/> Elec Service Change	<input type="checkbox"/> Tear off
<u>_____ BTUs</u>	<u>_____ # of Amps</u>	<input type="checkbox"/> Composition
<input type="checkbox"/> Oil Change out	<input type="checkbox"/> Water Line Replacement	<input type="checkbox"/> Removal-MASS 2 types
<input type="checkbox"/> New Furnace	<input type="checkbox"/> Sewer line Replacement;	
<u>_____ BTUs</u>	(Private Property only)	
<u>_____ ft of gas line</u>	<input type="checkbox"/> Gas line Add/Replace	<input type="checkbox"/> Add sheathing
<input type="checkbox"/> Oil to Gas	<u>_____ fuel</u>	<input type="checkbox"/> Indicate other _____
<u>_____ BTUs</u>	<input type="checkbox"/> CMV Energy hazard	
<input type="checkbox"/> A/C	<input type="checkbox"/> Lean Scaffolding (Residential)	
<u>_____ tons</u>		

RECEIVED
NOV 06 2018
CITY OF RENO
Community Development Dept.

Important
 Pick up permit at Building Permit counter
 Pay and grant online

- I understand that this application does not guarantee permit issuance nor allow work to commence.
- I certify that I have the authority and authorization of the property owner to obtain this permit and that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno.
- I assume full responsibility for compliance with the adopted Building Code (IRC) and all other applicable City of Reno Ordinance(s).
- I agree to abide by all conditions on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of my signature on the permit.

Katherine Sanyal
Permit Owner

Katie Sanyal
Signature

11/6/2018
Date



City of Reno Building Permit

Total Fees Due: \$40.00

Permit Number: BLD18-08801

Total VMTs:

Address: 1504 STEELWOOD LN 4

Job Type: Building/Commercial/Plumbing/NA

Parcel No: 004-292-17

Valuation: \$ 1,657 00

Zoning: Public Facility

Occupancy:

Type:

Group:

Dwelling Units: 0

Fire Sprinklers:

Height:

Fire Alarm:

Area(Sq.Ft.):

Stories:

Subdivision:

Lot:

Description of Work to Be Done

WATER HEATER,

REPLACE 40 GAL GAS WATER HEATER

Owner Information:

HOUSING AUTHORITY CITY OF RENO

1525 E 9TH ST.

RENO, NV 89512

Tenant Information:

HOUSING AUTHORITY CITY OF RENO

1525 E 9TH ST

RENO, NV 89512

Builder / General Contractor:

JET PLUMBING & DRAIN SERVICES

1553 HYMER AVE

SPARKS, NV 89431

775-331-3933

NV Lic.: D024184

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain minimum commercial liability insurance covering it during the term of the construction authorized by this permit in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By

Date

7/13/18

Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED

Building and Safety Division

CITY OF RENO
BUILDING DIV.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

ALL INSPECTIONS MUST BE COMPLETED

1504 STEELWOOD LN 4 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections

ES28 Masonry

Final Inspections

ES73 Plumbing Final

PERMIT NUMBER: BLD18-05001

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit Issuance, you may schedule inspections online 24 hours per day. Please provide a mobile phone number. You will receive a notification by text from your inspector the day of your inspection between 7:00 a.m. and 7:30 a.m., indicating the estimated time of arrival. If a text was not possible, the inspector will arrive at the job site between 7:30 a.m. and 3:00 p.m. For help or assistance call (775) 334-2053.

Fire Department Inspections:

Fire Department Inspections should be called in for the "Next Business Day" regardless of the date received. A Fire Inspector will call the next business day using the telephone number provided either online or the on automated telephone line, and schedule the actual date and time of the inspection.

Please refer to the Fire Department comments posted on the back of the front page of the approved plans for additional information and requirements.

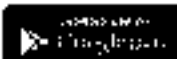
NOTICE:

This Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance the IRC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair, as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IRC 50% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified on plans or not, shall be complied with.



**Easy
scheduling...
Free
mobile app!**



On-line inspection scheduling now available on the City of Reno website: www.reno.gov > Services menu > Licensing and Permits. Use an account to best manage inspection scheduling and tracking or check plan status. (site address: <http://onerv.us>)

**BUILDING PERMIT APPLICATION**

City of Reno
Community Development Department
1 E. First Street - P.O. Box 1900,
Reno, NV 89505
(775) 334-2063

**Speedy Commercial & Residential**

Permit #: 18-08801
Rec'd by: Kruse

Speedy: Commercial OR Residential:

This application is to be used for minor electrical, mechanical and plumbing, and roofing permits only. INCOMPLETE applications cannot be processed. Fax completed application to (775) 334-2043 or email to permits@reno.gov

Parcel Number: 004-292-17 Address: 1504 Steelwood Lane #4 Cpt.

Description of Work:

Replace 40 gal gas water heater with same

RECEIVED

APR 30 2018

Owner Information: Business Name:

Owner Name: RHA

Address: _____

Phone No: _____
CITY OF RENO
PERMIT PLACE

Contractor Information:

Contractor: Jet Plumbing

Contact Name: Drew Rolley

Address: 1553 Hymer Ave, Sparks, NV 89431

Phone No.: 775-331-3933

Fax No.: 775-331-5584

Nevada License No.: 24184

City License No.: R5244A

Email address: Dispatch@JetPlumbing.com

Project Information:

Contract Amount \$ 1657 (valuation per IRC 108.3)

HVAC Installations

_____ BTU's

Change out

New

Electric unit to gas

Oil to Gas

Furnace only

A/C add HP

(_____ tons)

Water Heater

40 gallons

Gas

Electric

Gas to Electric

Electric to Gas

Relocate

Electrical & Plumbing

Elec Service Change

_____ # of Amps

Water Line Replacement

Sewer line Replacement

(Private Property only)

Gas line Add/Replace

_____ feet

Lawn Sprinklers (Residential)

ReRoof

Tear off

Composition

Recover - MAX 2

layers

Add sheathing

Indicate other:

Other

Window Replacement

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner to obtain this permit.

Crew Rolley

Print Applicant Name

Crew Rolley
Applicant Signature

4/30/18

Date:

******Speedy Permit AUTHORIZATION ******

Yes, please use credit card payment authorization on file. FAX Permit Email Permit

I hereby certify that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno. I assume full responsibility for compliance with the adopted Building Codes (IBC) and all other applicable City of Reno Ordinances. I agree to abide by all conditions printed on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of a signature on the permit.

Drew Rolley

Print Name

Drew Rolley
Signature

4/30/18

Date:

APR 30 2018

CITY OF RENO
Community Development



City of Reno Building Permit

Total Fees Due: \$40.00

Permit Number: BLD18-01525

Total VMTs:

Address: 1512 STEELWOOD LN UNIT 2

Owner Information:

HOUSING AUTHORITY CITY OF RENO

Job Type: Building/Residential/Plumbing/HA

1525 E 9TH ST,
RENO, NV 89512

Parcel No: 004-292-17

Valuation: \$ 1,400.00

Zoning: PF

Occupancy:

Type:

Group:

Dwelling Units: 0

Fire Sprinklers:

Height:

Fire Alarm:

Tenant Information:

Area(Sq.Ft.):

Stories:

Subdivision: PJ KELLY'S

Lot:

Description of Work to Be Done

WATER HEATER,

40 GAL GAS

Builder / General Contractor:

JET PLUMBING & DRAIN SERVICES

1553 HYMER AVE

SPARKS, NV 89431

775-331-3933

NV Lic.: 0024184

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are assessed against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit, (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain/maintain commercial liability insurance covering it during the term of the construction authorized by this permit, in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By _____

Date _____

Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED

Building and Safety Director

CITY OF RENO
PLANNING DIVISION

PAID
AUG 21 2017
CITY OF RENO
GERMANY PLACE

**ALL INSPECTIONS MUST
BE COMPLETED**

1512 STEELWOOD LN UNIT 2 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections

D528 Manometer

Final Inspections

B573 Plumbing Final

PERMIT NUMBER: BLD18-01528

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit Issuance, you may schedule inspections online or by telephone at (775) 334-2386 on our automated line 24 hours per day. Please provide a mobile phone number. You will receive a notification by text from your inspector the day of your inspection between 7:00 a.m. and 7:30 a.m., indicating the estimated time of arrival. If a text was not possible, the Inspector will arrive at the job site between 7:30 a.m. and 3:00 p.m.

Fire Department Inspections

Fire Department inspections should be called in for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day, using the telephone number provided either online or the on automated telephone line, and schedule the actual date and time of the inspection.

Please refer to the Fire Department comments posted on the back of the front page of the approved plans for additional information and requirements.

NOTICE:

This Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance the IBC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair, as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified on plans or not, shall be complied with.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling now available on the City of Reno's website www.reno.gov > Online Services menu > Virtual Permit Place/Citizen Access. Contractors may create an account and schedule inspections or check plan status.
(site address: <http://onenw.us>)

**BUILDING PERMIT APPLICATION**

City of Reno
Community Development Department
1 E. First Street - P.O. Box 1900,
Reno, NV 89505
(775) 334-2063

**Speedy Commercial & Residential**Permit #: 18-01525

Rec'd by: _____

Speedy: Commercial OR Residential

This application is to be used for minor electrical, mechanical and plumbing, and roofing permits only. INCOMPLETE applications cannot be processed. Fax completed application to (775) 334-2043 or email to permits@reno.gov

Parcel Number: 004-292-17 Address: 1512 Steelwood #2**Description of Work:**

Replace water heater with same

Owner Information: Business Name: _____
Owner Name: RHA Phone No: _____
Address: _____

Contractor Information:
Contractor: Jet Plumbing Contact Name: Drew Rolley
Address: 1553 Hymer Ave, Sparks, NV 89431
Phone No.: 775-331-3933 Fax No.: 775-331-5584
Nevada License No.: 24184 City License No.: 5244
Email address: Dispatch@JetPlumbing.com

Project Information:Contract Amount \$ 1400 (valuation per IBC 108.3)

HVAC Installations	Water Heater	Electrical & Plumbing	ReRoof
_____ BTU's	<u>40</u> gallons		
<input type="checkbox"/> Change out	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Elec Service Change _____ # of Amps	<input type="checkbox"/> Tear off
<input type="checkbox"/> New	<input type="checkbox"/> Electric	<input type="checkbox"/> Water Line Replacement	<input type="checkbox"/> Composition
<input type="checkbox"/> Electric unit to gas	<input type="checkbox"/> Gas to Electric	<input type="checkbox"/> Sewer line Replacement (Private Property only)	<input type="checkbox"/> Recover - MAX 2 layers
<input type="checkbox"/> Oil to Gas	<input type="checkbox"/> Electric to Gas	<input type="checkbox"/> Gas line Add/Replace _____ feet	<input type="checkbox"/> Add sheathing
<input type="checkbox"/> Furnace only	<input type="checkbox"/> Relocate	<input type="checkbox"/> Lawn Sprinklers (Residential)	<input type="checkbox"/> Indicate other:
<input type="checkbox"/> A/C add HP (_____ tons)			Other <input type="checkbox"/> Window Replacement

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner to obtain this permit.

Drew Rolley
Print Applicant Name

Applicant Signature

8/18/17
Date

Speedy Permit AUTHORIZATION

Yes, please use credit card payment authorization on Me. FAX Permit Email Permit
I hereby certify that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno. I assume full responsibility for compliance with the adopted Building Codes (I.B.C.) and all other applicable City of Reno Ordinances. I agree to abide by all conditions printed on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of my signature on the permit.

Drew Rolley
Print Name

Signature

8/18/17
Date

RECEIVED

AUG 18 2016

CITY OF RENO
PERMIT PLACE



City of Reno Building Permit

Total Fees Due: \$40.00

Permit Number: BLD18-01111

Total VMTs:

Address: 1516 STEELWOOD LN UNIT 1

Owner Information:

HOUSING AUTHORITY CITY OF RENO

Job Type: Building/Residential/Plumbing/NA

1525 E 8TH ST,
RENO, NV 89512

Parcel No: 004-292-17

Valuation: \$ 1,350.00

Zoning: PF

Occupancy:

Type:

Group:

Dwelling Units: 0

Fire Sprinklers:

Height:

Fire Alarm:

Area(Sq.Ft.):

Stories:

Subdivision: PJ KELLY'S

Lot:

Tenant Information:

Description of Work to Be Done

WATER HEATER..

INSTALL 40 GAL GAS WATER HEATER

Builder / General Contractor:

JET PLUMBING & DRAIN SERVICES

1553 HYMER AVE
SPARKS, NV 89431
775-331-3033

NV Lic.: 0024154

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are assessed against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain/retain commercial liability insurance covering it during the term of the construction authorized by this permit, in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By FAVED Date _____
Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED
BOUWEN 8/4/17

BOUWEN
CITY OF RENO
BUILDING DIV.

PAID
AUG 07 2017
CITY OF RENO
PERMIT PLACE

ALL INSPECTIONS MUST
BE COMPLETED

1516 STEELWOOD LN UNIT 1 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections

B526 Manometer

Final Inspections

B573 Plumbing Final

PERMIT NUMBER: BLD18-01111

POST THIS PERMIT IN A
CONSPICUOUS PLACE

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit issuance you may schedule inspections online or by telephone at (775) 334-2386 on our automated line 24 hours per day. Please provide a mobile phone number. You will receive a notification by text from your inspector the day of your inspection between 7:00 a.m. and 7:30 a.m., indicating the estimated time of arrival. If a text was not possible, the inspector will arrive at the job site between 7:00 a.m. and 3:00 p.m.

Fire Department Inspections.

Fire Department inspections should be called in for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day, using the telephone number provided either online or the on automated telephone line, and schedule the actual date and time of the inspection.

Please refer to the Fire Department comments posted on the back of the front page of the approved plans for additional information and requirements.

NOTICE:

This Form shall be a permanent part of approved plans attached thereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance the IBC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair, as required, sidewalks, curbs and gutters in accordance with RMFC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified on plans or not, shall be complied with.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling now available on the City of Reno's website www.reno.gov > Online Services menu > Virtual Permit Place/Citizen Access. Contractors may create an account and schedule inspections or check plan status.

(site address: <http://foenew.us>)



BUILDING PERMIT APPLICATION

City of Reno
 Community Development Department
 1 E. First Street - P.O. Box 1900,
 Reno, NV 89505
 (775) 334-2063
 FAX (775) 334-2043

EZ permit

Permit # RD18-0111
 Rec'd By [Signature]
 Rev 06/2012

This application is to be used for minor electrical, mechanical and plumbing (without plans), and roofing permits only. INCOMPLETE applications cannot be processed. Completed applications may be faxed to (775) 334-2043 or emailed to permits@reno.gov

Choose one: Commercial Residential

Parcel Number: _____ Address: 1516 STEELWOOD

Description of Work:
unit #1 Install 40 gal. gas water heater

Owner Information: Business Name: Reno Housing Auth
 Name: Reno Housing Phone No: 775-324-3630
 Address: 1525 E 9th Reno

Contractor Information:
 Contractor: JET PLUMBING & DRAIN SERVICE Contact Name: Nason D.
 Address: 1553 Hynes Avenue
 Phone No.: Sparks, NV 89431 Fax No.: _____
 Nevada License No.: (775) 331-5038 + (775) 331-5504 City License No.: _____
 Email address: NV Lic. 24164 + Exca # 57904

Project Information:
 Contract Amount \$ 1350⁰⁰ (valuation per IBC 108.3)

HVAC Installations	Water Heater	Electrical & Plumbing	ReRoof
_____ BTU's <input type="checkbox"/> Change out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> Oil to Gas <input type="checkbox"/> Furnace only <input type="checkbox"/> A/C (_____ tons)	<u>40</u> gallons <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	<input type="checkbox"/> Elec Service Change _____ # of Amps <input type="checkbox"/> Water Line Replacement <input type="checkbox"/> Sewer line Replacement (Private Property only) <input type="checkbox"/> Gas line Add/Replace _____ feet <input type="checkbox"/> Lawn Sprinklers (Residential)	<input type="checkbox"/> Tear off <input type="checkbox"/> Composition <input type="checkbox"/> Recover - MAX 2 layers allowed <input type="checkbox"/> Add sheathing <input type="checkbox"/> Indicate other: _____

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner and above listed contractor to obtain this permit.

Print Applicant Name: Vanessa Burgess Applicant Signature: [Signature] Date: 8/4/17

Inspection Record

Inspector Signature

Date

Permitting Maps Section

6120 University

Austin, Texas 78756

6022 Peachay Falls

PERMIT NUMBER: BLDG7-01766

POST THIS PERMIT IN A
CONSPICUOUS PLACEPermit Inspection Record
City of Pecos Building Permit

GENERAL NOTES:

It is intended to address the needed work for the job site until all final inspections have been made.

This Permit requires the only schedule inspections online or by telephone at (757) 334-2268 on our authorized map (2 hours per day). Please provide a visible phone number. You will receive all notification by mail from your Inspector the day of your inspection between 7:00 a.m. and 7:00 a.m., indicating the proposed area of work. It is not to be disturbed. The Inspector will arrive at the job site between 7:30 a.m. and 2:00 p.m.

Fire Department Inspections:

Fire Department Inspectors should be called in for the "New Business Day" regardless of the day required. The Inspector will call the next business day using the telephone number provided after seeing in the fire department website and include the required one-hour time inspection.

Please refer to the Fire Department's complete group of the back of the form page of the approved plans for additional information and requirements.

NOTICE:

This Permit shall be a minimum set of approved plans selected from approved plans may be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance with the NBC except the noted structural details shall be provided before construction is allowed in scope areas. The Pecos Building Division shall receive a copy of all listing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Showers or rooms, as required, adequate steps and gutters in accordance with NBC. Elevation, R, completion and drawings shall comply with the NBC. Pecos minimums compliance code of concrete work.

Conditions and modifications as noted on plans and previous of building codes and ordinances as applied by the City of Pecos whether located on plans or not shall be complied with.

PERMIT EXPIRATION:

In accordance with the NBC, this permit shall expire if work is not commenced within 180 days from the listed date or if work is suspended or abandoned at any time. After 180 days it shall be considered for a period of 180 days.

On-line inspection scheduling now available on the City of Pecos's website www.pecos.gov > Online Services menu > View of Pecos Plans/Check Access. Complete any forms in account and schedule inspections as check plus online.

Call or write: blm@pecos.nm.us

BUILDING PERMIT APPLICATION

City of Reno
Community Development Department
1 E. First Street - P.O. Box 1990
Reno, NV 89505
(775) 334-2063

Specify Commercial or Residential

Permit # 140713

Rec'd by (2)

Specify: Commercial = OR Residential

All applications are subject to basic electrical, mechanical and plumbing and related permits only. INCOMPLETE applications cannot be processed. For completed application to (775) 334-2063 or email to permit@ci.reno.nv.us

Parcel Number: 004-290-17 Address: 1548 Steelwood Lane
Mountain View Apts
RENO NV 89512

Description of Work: Replace water meter. Replace with brass rimov.
RENO NV

Owner Information: Business Name: Blue Housing Authority
Owner Name: Gene Hovine Address: 1555 E. 4th Street
Phone No. 329-3430

Contractor Information:
Contractor: Michael's Plumbing Contact Name: Don Steiner
Address: 1700 Brown Lake Sparks NV 89431
Phone No. 755-1111 Fax No. 755-1111
Nevada License No. 123554 City License No. 41454
E-mail address: NA

Project Information:

- Contract Amount: 3507.50 Evaluation per IRC 108.30
- | | | | |
|--|---|--|--|
| MVAC Installations | Water Heater | Excavation & Paving | Roof |
| BTU's | galloons | | |
| <input type="checkbox"/> Change out | <input type="checkbox"/> Gas | <input type="checkbox"/> Elec Service Change | <input type="checkbox"/> Tap off |
| <input type="checkbox"/> New | <input type="checkbox"/> Electric | <input type="checkbox"/> # of amps | <input type="checkbox"/> Composition |
| <input type="checkbox"/> Electric used gas | <input type="checkbox"/> Gas to Electric | <input type="checkbox"/> Water & Ice Replacement | <input type="checkbox"/> Recover - MAX 2 |
| <input type="checkbox"/> Oil to Gas | <input type="checkbox"/> Electric to Gas | <input type="checkbox"/> Sewer line Replacement | <input type="checkbox"/> Levels |
| <input type="checkbox"/> Furnace only | <input type="checkbox"/> Furnace | <input type="checkbox"/> Gas line replacement | <input type="checkbox"/> Add sheathing |
| <input type="checkbox"/> A/C add HP | <input type="checkbox"/> Remove WH | <input type="checkbox"/> Fire Sprinkler Installation | <input type="checkbox"/> Insulate and |
| <input type="checkbox"/> () | <input type="checkbox"/> Install New | | <input type="checkbox"/> Ditch |
| | <input type="checkbox"/> Tankless Furnace | | <input type="checkbox"/> Window Replacements |

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner to obtain this permit.

Trudy Archuleta _____ Andy Archuleta _____ 3/6/17
Permit Applicant _____ Applicant Signature _____ Date _____

*****Specify Permit AUTHORIZATION*****

I, the undersigned, hereby certify that the permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno. I assume full responsibility for compliance with the proposed building codes of R.C. and all other applicable City of Reno Ordinances. I agree to abide by all conditions printed on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of the signature of the permit holder.

Trudy Archuleta _____ Andy Archuleta _____ 3/6/17
Permit Holder _____ Permittee _____ Date _____



City of Reno Building Permit

Total Fees Due: \$39.65

Permit Number: BLD17-03174

Total VMTs:

Address: 1512 STEELWOOD LN UNIT 1

Owner Information:

Job Type: Building/Residential/Plumbing/NA

Parcel No: Valuation: \$ 600.00
 Zoning: PF Occupancy:
 Type: Group:
 Dwelling Units: 0 Fire Sprinklers:
 Height: Fire Alarm:
 Area(Sq.Ft.): Stories:
 Subdivision: PJ KELLY'S
 Lot:

Tenant Information:

Description of Work to Be Done

WATER HEATER..
CHANGE OUT NATURAL GAS 40 GALLON WATER HEATER

Builder / General Contractor:

MICHAELS PLUMBING & DRAIN SERVICE
670 KRESGE LN
SPARKS, NV 89431
NV Lic.: 0060226

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), save and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain/maintain commercial liability insurance covering a during the term of the construction authorized by this permit, in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By Faxed Date 11/2/16
 Builder/General Contractor or the Authorized Agent

Building Permit
 Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno

APPROVED

Building and Safety Division
 CITY OF RENO
 BUILDING DIV

CITY OF RENO
 BUILDING DIV
 RECEIVED
 11/2/16

**ALL INSPECTIONS MUST
 BE COMPLETED**

1512 STEELWOOD LN UNIT 1 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections
B528 Manometer

Final Inspections
B573 Plumbing Final

PERMIT NUMBER: BLD17-03174

POST THIS PERMIT IN A
CONSPICUOUS PLACE

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

After Permit issuance, you may schedule inspections online or by telephone at (775) 334-2998 on our automated line 24-hours per day. Please provide a mobile phone number. You will receive a notification by text from your inspector the day of your inspection between 7:00 a.m. and 7:30 a.m., indicating the estimated time of arrival. If a text was not possible, the inspector will arrive at the job site between 7:30 a.m. and 1:00 p.m.

Fire Department Inspections:

Fire Department inspections should be called in for the "Next Business Day" regardless of the date required. A Fire Inspector will call the next business day, using the telephone number provided either online or the on automated telephone line, and schedule the actual date and time of the inspection.

Please refer to the Fire Department comments posted on the back of the front page of the approved plans for additional information and requirements.

NOTICE:

This Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance the IBC except that noted structural details shall be provided before construction if indicated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno, whether specified on plans or not, shall be complied with.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling now available on the City of Reno's website www.reno.gov > Online Services menu > Virtual Permit Place/Citizen Access. Contractors may create an account and schedule inspections or check plan status.
(site address: <http://onerv.es>)



BUILDING PERMIT APPLICATION

City of Reno
Community Development Department
1 E. First Street - P O Box 1900,
Reno, NV 89505
(775) 334-2063



Speedy Commercial & Residential

Permit #: 17-03174
Rec'd by DRP

Speedy: Commercial n OR Residential p

This application is to be used for minor electrical, mechanical and plumbing, and roofing permits only. INCOMPLETE applications cannot be processed. Fax completed application to (775) 334-2043 or email to permits@reno.gov

Parcel Number: 004-292-17 Address: 1512 Steelwood Ln #1 89512
Description of Work:

Direct change out of natural gas water heater.

Owner Information: Business Name: Housing Authority City of Reno
Owner Name: _____ Phone No. 329-3630
Address: 1525 9th St Reno, NV 89512

Contractor Information:
Contractor: Michael's Plumbing Heating Air Contact Name: Lea
Address: 610 Kresler Ln Sparks, NV 89431
Phone No. 355-1618 Fax No. 355-1639
Nevada License No. 60226 City License No. _____
Email address: serville@michaelsplumbing.net

Project Information:

Contract Amount \$ <u>600.00</u>		(valuation per IRC 108.3)	
HVAC Installations	Water Heater	Electrical & Plumbing	ReRoof
_____ BTUs	<u>40</u> gallons		
<input type="checkbox"/> Change out	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Elec Service Change	<input type="checkbox"/> Tear off
<input type="checkbox"/> New	<input type="checkbox"/> Electric	_____ # of Amps	<input type="checkbox"/> Composition
<input type="checkbox"/> Electric inc to gas	<input type="checkbox"/> Gas to Electric	<input type="checkbox"/> Water Line Replacement	<input type="checkbox"/> Recover - MAX 2 layers
<input type="checkbox"/> Oil to Gas	<input type="checkbox"/> Electric to Gas	<input type="checkbox"/> Sewer line Replacement: (Private Property only)	<input type="checkbox"/> Add sheathing
<input type="checkbox"/> Furnace only	<input type="checkbox"/> Relocate	<input type="checkbox"/> Gas line Add/Replace _____ feet	<input type="checkbox"/> Indicate other
<input type="checkbox"/> A/C add H/P (_____ tons)		<input type="checkbox"/> Lawn Sprinklers (Residential)	Other
			<input type="checkbox"/> Window Replacement

RECEIVED
NOV 02 2016
CITY OF RENO
Community Development Dept

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner to obtain this permit

Lea Williams _____ 11/2/16
Print Applicant Name _____ Applicant Signature _____ Date

*****Speedy Permit AUTHORIZATION*****

I, Lea Williams, hereby certify that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno. I assume full responsibility for compliance with the adopted Building Codes (I.B.C.) and all other applicable City of Reno Ordinances. I agree to abide by all conditions printed on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of my signature on the permit.

Lea Williams _____ 11/2/16
Print Name _____ Signature _____ Date



City of Reno
Community Development
Permit Receipt

Receipt #: 17REC-03393

Date: 11/03/2016

Line Items:

Case No	Invoice No	Description	Revenue Account No	Amount Paid
1612 STEELWOOD LN 7 BLD17-03174	705800	Water Heater - RES - Flat Fee	40060 0000 5363 0000	39.65
Line Item Total:				\$39.65

Payments:

Date	Method	Payer	Check Number	Confirm No	Amount Paid
11/03/2016	Credit Card	MICHAELS PLUMBING & DRAIN SERVICE		07760G	39.65
Payment Total:					\$39.65

THE PERMIT PLACE
1 E. 1ST ST /CITY HALL
RENO, NV 89501

11/03/2016 12:25:25
CREDIT CARD
VISA SALE

Card #: XXXXXXXXXXXXXXX049
Seq #: 14
Batch #: 407
Terminal: 14
Approval Code: 07760G
Entry Method: Manual
Node: Online
Tax Amount: \$9.80
Inv Code: YYY

SALE AMOUNT \$39.65

CUSTOMER COPY

PAID
NOV 03 2016
CITY OF RENO
PERMIT PLACE



**City of Reno
Building Permit**

Total Fees Due: \$39.65

Permit Number: BLD15-01517

Total VMTs:

Address: 1544 STEELWOOD LN UNIT 4

Owner Information:

HOUSING AUTHORITY CITY OF RENO
1525 E 9TH ST.
RENO, NV 89512

Job Type: Building/Residential/Plumbing/NA

Parcel No: 004-292-17 Valuation: \$ 881.00
Zoning: MF-30 Occupancy:
Type: Group:
Dwelling Units: 0 Fire Sprinklers:
Height: Fire Alarm:
Area(Sq.Ft.): Stories:
Subdivision: CLEAR ACRE CONDOMINIUMS
Lot:

Tenant Information:

Description of Work to Be Done

WATER HEATER .
REPLACE 40 GALLON NATURAL GAS WATER HEATER,
WITH CODE UPGRADES.

Builder / General Contractor:

MICHAELS PLUMBING & DRAIN SERVICE
670 KRESGE LN
SPARKS, NV 89431
775-355-1611
NV Lic.: 0060226

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit (including but not limited to the undersigned's failure to perform in accordance with the approved permit and plans), arise and except such demands, claims or liability that arise from the City of Reno's sole negligence or willful misconduct.

The undersigned agrees to obtain/retain commercial liability insurance covering it during the term of the construction authorized by this permit in an amount no less than the total construction cost of the work to be performed, and warrants that such liability policy shall include completed operations coverage as well as an additional insured endorsement naming the City of Reno as an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without exclusion for bodily injury or property damage within the completed operations of hazard.

By _____ Date _____

Builder/General Contractor or the Authorized Agent

Building Permit

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno.

APPROVED

Christen Pett

Building and Safety Division
**CITY OF RENO
BUILDING DIV**

PAID

SEP 02 2014

**CITY OF RENO
PERMIT PLACE**

**ALL INSPECTIONS MUST
BE COMPLETED**

1544 STEELWOOD LN UNIT 4 LOT:

Inspection Record

Inspector Signature

Date

Plumbing Inspections
BS28 Manometer

Final Inspections
BS73 Plumbing Final

PERMIT NUMBER: BLD15-01517

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

Permit Inspection Record
City of Reno Building Permit

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been made.

For inspections, please call the Building Div. automated phone line at (775) 334-2386 at any time, 24 hours a day. Contractors may also schedule inspections on-line at anytime once a registered account is established at the Virtual Permit Place at <http://applications.cityofreno.com/contractor>. Inspections may be set until 5:00 am of the day the inspection is to be performed. On the day of the inspection, you may call the Building Inspector directly or through an operator at (775) 334-2060 from 7:30 a.m. to 6:00 a.m. to request an inspection time.

Fire Department Inspections:

After the Fire Department inspections are scheduled, the Fire Inspector will telephone the contact number provided on the automated inspection dispatch within 48 hours to schedule an inspection time.

Please refer to the Fire Department comments posted on the back front page of the approved plans for additional information and requirements.

NOTICE

This Form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the inspection card posted for inspection purposes. Plans are approved in accordance with the IBC except that noted structural details shall be provided before construction is initiated in noted areas. The Reno Building Division shall receive a copy of all testing and field reports. Any changes in the approved drawings shall be submitted in writing for approval. Provide or repair as required, sidewalks, curbs and gutters in accordance with RMC. Excavation, fill, compaction and drainage shall comply with the IBC 90% minimum compaction under all concrete slabs.

Corrections and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Reno whether specified on plans or not, shall be complied with.

PERMIT EXPIRATION:

In accordance with the IBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling now available on the City of Reno's website www.reno.gov > Online Services Menu > Community Development Permits > Virtual Permit Place. Contractors may create an account and schedule inspections or check plan status.



BUILDING PERMIT APPLICATION

City of Reno
Community Development Department
1 E. First Street - P.O. Box 1900,
Reno, NV 89505
(775) 334-2063



Speedy Commercial & Residential

Permit #: **BLD15-01517**

Rec'd By: **CF FAXED 9/2/14**

Speedy: Commercial OR Residential

This application is to be used for minor electrical, mechanical and plumbing, and roofing permits only. INCOMPLETE applications cannot be processed. Fax completed application to (775) 334-2043 or email to permits@reno.gov

Parcel Number: 004-292-17 Address: 1544 Steelwood #4

Description of Work: Reno NV 89512
Replace to gallon natural gas water heater (owner provided)
with code upgrades

Owner Information: Business Name: Reno Housing Authority
Owner Name: Steve Phone No: 329-31430
Address: 1535 E. 4th Street Reno NV 89512 745-3387
9/2/14

Contractor Information:
Contractor: Michael's Plumbing Contact Name: Mike
Address: 1714 Kresge Lane Sparks NV 89431
Phone No: 355-1611 Fax No: 355-1129
Nevada License No: 1602210 City License No: _____
Email address: N/A

Project Information:

Contract Amount \$ 881.01 (valuation per IBC 108.3)

HVAC Installations	Water Heater	Electrical & Plumbing	ReRoof
BTU's	<u>40</u> gallons		
<input type="checkbox"/> Change out	<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Elec Service Change # of Amps	<input type="checkbox"/> Tear off
<input type="checkbox"/> New	<input type="checkbox"/> Electric	<input type="checkbox"/> Water Line Replacement	<input type="checkbox"/> Composition
<input type="checkbox"/> Electric unit to gas	<input type="checkbox"/> Gas to Electric	<input type="checkbox"/> Sewer line Replacement (Private Property only)	<input type="checkbox"/> Recover - MAX 2 layers
<input type="checkbox"/> Oil to Gas	<input type="checkbox"/> Electric to Gas	<input type="checkbox"/> Gas line Add/Replace feet	<input type="checkbox"/> Add sheathing
<input type="checkbox"/> Furnace only	<input type="checkbox"/> Relocate	<input type="checkbox"/> Lawn Sprinklers (Residential)	<input type="checkbox"/> Indicate other: _____
<input type="checkbox"/> A/C add H/P (tons)			

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner to obtain this permit.

Print Applicant Name: Trudy Archuleta Applicant Signature: [Signature] Date: 9/2/14

Speedy Permit AUTHORIZATION

Yes, please use credit card payment authorization on the FAX Permit Email Permit
I hereby certify that this permit application is accurate and does not violate applicable ordinances, rules or regulations of the City of Reno. I assume full responsibility for compliance with the adopted Building Codes (I.B.C.) and all other applicable City of Reno Ordinances. I agree to abide by all conditions printed on the Permit and understand that my signature below is being accepted by the City of Reno in lieu of my signature on the permit.

Print Name: Trudy Archuleta Signature: [Signature] Date: 9/2/14



**City of Reno
Building Permit**

Total Fees Due: 2400.00 ⁵¹ ~~52~~

Permit Number: BLD14-01621

Total Value:

Address: 1824 STEELWOOD LN UNIT #1

Owner Information:

HOUSING AUTHORITY CITY OF RENO
125 E 9TH ST.
RENO NV 89502

Job Type: Building/Residential/Plumbing/NA

Parcel No: 034282-17 Valuation: 577,000

zoning: MF-3C Occupancy:

Type: Group:

Dwelling Units: 0 Fire Systems:

Height: Fire Alarm:

Area of FUI: Storage:

Subdivision: CLEAR ACRES CONDOMINIUMS

Lot:

Subcontractor Information:

Builder / General Contractor:

NICHOLS PLUMBING & DRAIN SERVICE
670 KRESGE LN
SPARKS NV 89434
775-355-9411
NV LIC.: 000026

Description of Work to Be Done:

WATER HEATER
GAS TO GAS 40-GAL WATER HEATER WITH CODE
UPGRADES

The undersigned hereby agrees to defend, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all demands, claims or liabilities that are asserted against the City of Reno arising from the undersigned's construction activities performed pursuant to the issuance of this permit. This shall not be limited to the undersigned's failure to perform its obligations under the approved plans and permit, errors and omissions and omissions, errors or liability that arise from the City of Reno's sole negligence of other subcontractors.

The undersigned agrees to indemnify, defend, hold harmless, prosecute or settle during the term of the construction permitted by this permit, in an amount not less than the total contract value of the work to be performed, any amounts that shall remain owing from the contractor's completion of work to the extent of the actual amount of damages caused by the City of Reno or its contractor insured with respect to operations performed by it and its subcontractors when the City of Reno has money or security on hand, without limitation for bodily injury or property damage which the contractor performs or causes.

[Signature] Date: 9/10/13
Subcontractor/General Contractor or Authorized Agent

Building Permit

This permit is hereby granted in accordance with the provisions described in the application in accordance with the Rules, Regulations and Ordinances of the City of Reno.

[Signature] 9/15/13
CITY OF RENO

Building and Safety Director PLUMBING DEPT.

PAID
SEP 10 2013
CITY OF RENO
PERMIT PLACE

**ALL INSPECTIONS MUST
BE COMPLETED**

1504 B1 BIRCHWOOD LN UNIT #1 LOT:

Inspection Record

Inspector Signature

Date

Planning Inspector

Bill Morrison

Final Inspection

per Planning Staff

FORM NUMBER BLD-14-0021

POST THIS PERMIT IN A
CONSPICUOUS PLACE

Family Inspection Record
City of Reno Building Dept

OBSERVATION NOTES:

It is intended to remove this record from the job site until all final inspections have been made.

For inspectors, please call the Building Dept. answering phone line at (775) 334-2000 at any time, 24-hours a day. Contractors may also schedule inspections online at any time using a registered account & established at the online permit page at <http://applications.cityofreno.com/contractor/inspections>. City fee set until 2009 are in the City of Reno Book 4 to be performed. On the City of the Inspection you may call the Building (482)007 directly or through an operator at (775) 334-2000 ext 738 dur. to 3:00 am. 2010 labels are available here.

For Division of Hazardous

Material the Fire Department inspections are scheduled, the Fire Department will telephone the contact number provided on the submission inspection details within 48 hours to schedule an inspection time.

Please refer to the Fire Department version posted on the back cover page of the approved plans to additional information and requirements.

NOTICE:

This form shall be a permanent part of approved plans attached hereto. Approved plans must be on the job site at all times and the Inspection card posted for inspection purposes. Plans not approved by accordance with RMC except for raised structure shall not be ground unless otherwise is stated in noted areas. The Reno Building Division shall receive a copy of all zoning and RMC permits. Any changes to the approved drawings shall be submitted in writing for approval. Permits or copies as required, electronic, onto and submit is accordance with RMC. Excavation, fill, compaction and drainage shall comply with the RMC 30% minimum compaction until all drawings filed.

Excavation and reclamation is noted on plans and approval of Building codes and ordinances as adopted by the City of Reno whether specifications or not shall be completed with.

PERMIT EXPIRATION:

In accordance with the RMC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

Online inspection scheduling now available on the City of Reno's website www.reno.gov | Online Services Menu > Community Development Permits > Virtual Permit Plaza. Contractors may create an account and schedule inspections or check plan status.

BUILDING PERMIT APPLICATION

BZ permit

FAKED
VOTES

City of Reno
Community Development Department
480 Sienna Street - P.O. Box 1000,
Reno, NV 89505

Permit # _____

7/24/08

Rec'd By: _____

(775) 334-2043
FAX (775) 334-2040

Commercial

Residential

BLD 14-01521

This application is to be used for minor electrical, mechanical and plumbing (without class), and roofing permits only. INCOMPLETE applications cannot be processed. Completed applications may be filed to (775) 334-2043 or emailed to permits@reno.gov

Parcel Number: 001 272-17 Address: 1504 Sashmore Ln #1 Reno NV 89502

Description of Work:

Water heater replacement with code upgrade.

Owner Information:

Name: Reno Housing Authority Phone No: 329-3630
Address: 705 E. North St. Reno NV 89516

Contractor Information:

Contractor: Michaels Plumbing Heating & A/C Control Name: TRICIA STARRS
Address: 1610 Bridge Lane Sparks NV 89431
Phone No: 353-1621 Fax No: 353-1624
Nevada License No.: LC2246 City License No.: _____
Email address: _____

Project Information:

Contract Amount \$ 771.35 (valuation per IRC 108.3)

HVAC Installations	Water Heater	Electrical & Plumbing	Roofing
<input type="checkbox"/> BTUs <input type="checkbox"/> Change out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> Oil to Gas <input type="checkbox"/> Furnace only <input type="checkbox"/> A/C 1 (only)	<input checked="" type="checkbox"/> 40 gallons <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	<input type="checkbox"/> Elec Service Charge _____ # of Amps <input type="checkbox"/> Water Line Replacement <input type="checkbox"/> Spewer line Replacement (Private Property only) <input type="checkbox"/> Gas line Add/Replace _____ feet <input type="checkbox"/> Leak Splitters (Photocopy)	<input type="checkbox"/> Tear off <input type="checkbox"/> Composition <input type="checkbox"/> Remove - MAX 2 layers allowed <input type="checkbox"/> Add Sheeting <input type="checkbox"/> Indicate other _____

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner and above listed contractor to obtain this permit.

TRICIA STARRS
Permit Applicant Name

Tricia Starrs
Applicant Signature

9/5/13
Date



**City of Reno
Building Permit**

Total Fees Due: \$61.00

Permit Number: BLD14-01622

Total VMTs

Address: 1300 STEELWOOD LN UNIT 40

Owner Information:

HOUSING AUTHORITY OF THE CITY OF RENO
1525 E 9TH ST.
RENO, NV 89502

Job Type: Building/Remodeling/Plumbing

Part of No: 004-292-17 Valuation: \$ 004.00

Zoning: MF-30 Occupancy:

Type: Group:

Dwelling Units: 0 Area Restrictions:

Height: Fire Alarm:

Area Sq Ft: Surface:

Subdivision: CLEAR ACRE DEVELOPMENT, INC

Lot:

Tenant Information:

Description of Work to Be Done

WATER HEATER,
GAS TO GAS-40 GAL WATER HEATER WITH COGE
UPGRADES

Builder / General Contractor

NICHOLAS FERNANDO S. DRAY SERVICE
670 ADRESSE LN
SPARKS, NV 89431
775-355-1811
NV Lic.: 0084226

The undersigned hereby agrees to accept, indemnify and hold harmless the City of Reno, its officers, employees and agents from and against all damages, claims or liabilities that are asserted against the City or Reno arising from the undersigned's construction activities authorized pursuant to the issuance of the permit including but not limited to the undersigned's failure to perform its obligations with the approved permit and related laws and regulations and to maintain, correct or remedy the same upon the City of Reno's sole negligence or with negligence.

The undersigned agrees to indemnify and hold harmless the City of Reno covering a copy of the terms of the certificate submitted by the permittee in an amount not less than the estimated cost of the work to be performed, and to provide the work history upon any future complete inspection coverage as well as to maintain insured performance bonding the City of Reno as an additional insured with respect to any work performed by it. In the event that the City of Reno has issued a building permit without sufficient bonding, then it shall be deemed that the bonded amount is correct.

[Signature] Date 9/10/13
Authorized General Contractor or the Authorized Agent

Building Permit

Restrictions hereby placed in addition to the work described in this application in accordance with the Rules, Regulations, and Ordinances of the City of Reno

ALL APPROVED 9/15/13
Building and Safety Director

PAID
SEP 10 2013
CITY OF RENO
PERMIT PLACE

**ALL INSPECTIONS MUST
BE COMPLETED**

CITY OF RENO
BUILDING DEPT.

1698 STEEL WOOD L.N UNIT 22 LOT:

Inspection Record

Inspector Signature

Date

Planning # 0420044

DCS Inspector

Final Inspected

803 Pacific Fair

PERMIT NUMBER: SLM161532

POST THIS PERMIT ON A
CONSPICUOUS PLACE

Permit Inspection Person
City of Palm Beach

GENERAL NOTES:

It is unlawful to remove this record from the job site until all final inspections have been passed.

For inspections, please call the Building Dept. at the above phone number or (772) 334-2396 at any time 24-hours a day. Complaints may also be reported to the Building Dept. at any time 24-hours a day. Inspections may be scheduled at a convenience to the permittee. Inspections may be scheduled 500 feet or more from the project site. The City of Palm Beach may call the Building Inspector directly or through an operator at (772) 334-2640 from 7:30 a.m. to 4:00 p.m. to schedule an inspection time.

Fire Department Inspection

After the Fire Department inspection has been passed, the Fire Inspector will telephone the contact number provided on the approved inspection report within 48 hours to schedule an inspection time.

Please refer to the Fire Department comments posted on the second page of the approved plans for additional information and requirements.

NOTICE

The Permit shall be a permanent sign of approved plans. It shall be posted on the job site at all times and the inspection card posted in a conspicuous place. Plans are approved in accordance with the NBC except that where structural details shall be provided before construction is initiated in such areas. The Permittee shall provide a copy of all required reports. Any changes in the approved drawings shall be submitted in writing for approval. Erosion or runoff, as required, shall be controlled in accordance with FPMG. Erosion control measures and drainage shall comply with the NBC. 90% minimum compaction under all concrete slabs.

Conditions and modifications as noted on plans and provisions of building codes and ordinances as adopted by the City of Palm Beach as specified on plans or not shall be complied with.

PERMIT EXPIRATION

In accordance with the NBC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or discontinued at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling now available on the City of Palm Beach website www.palmbeach.gov / Online Services Menu / Community Development Permit / Virtual Permit Place. Contractors may create an account and schedule inspections or check plan status.

16 6163 P. 1
FIXED
 9/5/11
 3:26 AM

BUILDING PERMIT APPLICATION

62 permit

City of Reno
 Community Development Department
 450 Beulah Street - P.O. Box 1900,
 Reno, NV 89506

Permit #

Rec'd By: BDW14-01522

(775) 334-2083
 FAX (775) 334-2043

Commercial Residential

This application is to be used for major electrical, mechanical and plumbing technical plans, and roofing permits only. INCOMPLETE applications cannot be processed. Completed applications may be faxed to (775) 334-2043 or e-mailed to permits@reno.gov

Parcel Number: 024-398-17 Address: 1500 Steelwood Lane #2 Reno NV 89512

Description of Work:

Water heater replacement with code upgrades.

Owner Information:

Name: Reno Holding Authority Phone No: 329-3630
 Address: 1525 E. Fifth St Reno NV 89512

Contractor Information:

Contractor: Michael's Plumbing Heating & AC Contact Name: TRICIA STARRS
 Address: 1000 Creege Lane Sparks NV 89431
 Phone No: 958-9661 Fax No: 353-1629
 Nevada License No: 602296 City License No: _____
 Email address: _____

Project Information:

Contract Amount \$ <u>904.85</u> (valuation per IRC 908.3)			
HVAC Installations <input type="checkbox"/> STUf <input type="checkbox"/> Change out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> Oil to Gas <input type="checkbox"/> Furnace only <input type="checkbox"/> A/C (_____ ton)	Water Heater <u>40</u> gallon <u>Indie</u> <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	Electrical & Plumbing <input type="checkbox"/> Elec. Service Change # of Amps _____ <input type="checkbox"/> Water Line Replacement <input type="checkbox"/> Sewer Line Replacement (Private Property only) <input type="checkbox"/> Gas line Add/Replace _____ feet <input type="checkbox"/> Lawn Sprinklers (Reconnect)	ReRoof <input type="checkbox"/> Tear off <input type="checkbox"/> Composition <input type="checkbox"/> Recover - MAX 2 layers allowed <input type="checkbox"/> Add membrane <input type="checkbox"/> Indicate other _____

I understand that this application does not guarantee permit issuance nor show work to commence. I certify that I have the authority and authorization of the property owner and above listed contractor to obtain the permit.

TRICIA STARRS

Tricia Starrs

9/5/11

Per Applicant Name

Applicant Signature

Date



City of Reno
Building Permit

Permit Number: BLD14-00633

Total Fees Due: \$61.00

Total VMTs:

Address: 1520 STEELWOOD LN

Owner Information:

Job Type: Building/Residential/Plumbing

HOUSING AUTHORITY CITY OF RENO
1525 E 34TH ST
RENO, NV 89512

Permit No: 00429247

Volume: 5 ZT: 00

Issued: 06-20

Occupancy:

Type:

Group:

Dwelling Unit: U

New Construction:

Height:

Fire Alarm:

Area/Type:

Stories:

Tracer Information:

Sub-System: CLEAR ACRE CONDOMINIUMS

Lot

Description of Work to be Done:

WATER HEATER.

REPLACE EXISTING WATER HEATER WITH GAS WATER
HEATER

Builder / General Contractor:

NICHOLS PLUMBING & DRUM SERVICE
PO BOX 4162
SPARKS, NV 89402
775-359-1014
NV Lic.: 0898028

The undersigned hereby agree to defend, indemnify and hold harmless the City of Reno its officials, employees and agents from and against all demands, claims or expenses that are asserted against the City of Reno arising from any independent contractor actions against persons caused by the release of the permit proceeds and not known to the undersigned. Failure to obtain all necessary and/or legally required permits, laws and codes and/or permits, codes or legally required permits, laws and codes shall constitute a willful misconduct.

The undersigned hereby is responsible for obtaining necessary insurance coverage of during the term of the agreement indicated by the permit. It is expected that the City will not participate in any work to be performed and therefore that work shall comply with applicable regulatory provisions. It may be an additional insured party. The City of Reno is an additional insured with respect to operations performed by or for the undersigned for which the City of Reno has issued a building permit, without prejudice for the City's duty of liability. Multiple copies of this obligation agreement are attached.

PAID
JUL 30 2013
CITY OF RENO
PERMIT PLACE

By: *[Signature]* Date: 7/30/13
Builder/General Contractor of the Applicant Agent

Building Permit
Permittee is hereby granted to receive the work described in the application in accordance with the Public Regulations and Ordinances of the City of Reno.

[Signature] 7/30/13
Permittee and Building Inspector

ALL INSPECTIONS MUST
BE COMPLETED

CITY OF RENO
BUILDING DEPARTMENT

1628 STEELWOOD LN LOT:**Inspection Record**

Inspector Signature

Date

Building Inspection
(112) InsulatorFire Inspection
(112) Building Dept**PERMIT NUMBER: 01014-0003****POST THIS PERMIT IN A
CONSPICUOUS PLACE**Permit Issuance Record
City of Reno Building Permit**GENERAL NOTES:**

It is intended to remove this notice from the job site and all other inspections, rules and regulations.

For inspection, please call the Building Dept. at (775) 784-2000 or any other City of Reno. Contractors may also schedule inspections online at www.ci.reno.nv.us. A required \$500.00 fee is required for the initial permit phase of the inspection. Additional inspections may be scheduled for \$100.00 of the City of Reno. The inspection fee is to be returned to the City of Reno. For more information, you may call the Building Department at (775) 334-2000 from 7:30 AM to 5:00 PM or email building@ci.reno.nv.us.

Fire Department Inspection:

After the Fire Department inspectors are satisfied the fire inspection and approval has been received on the approved inspection sheet, which returns to schedule an inspection date.

Please refer to the Fire Department website posted on the back of this page of the approved plan for additional information and requirements.

NOTICE:

This notice shall be a permanent part of approved plans, drawings, forms, approved plans, and all other documents and drawings submitted for approval. Plans are required to be submitted to the City of Reno. The Building Department shall receive a copy of all drawings and plans before any changes to the approved drawings can be submitted for approval. Provide or repair, as required, materials, work and drawings in accordance with the City of Reno. Construction and drawings shall comply with the City of Reno. Construction shall comply with the City of Reno.

Contractors and modifications in need of plans and permits of building codes and ordinances as adopted by the City of Reno. Please refer to the City of Reno website for more information.

PERMIT EXPIRATION:

In accordance with the City of Reno, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is discontinued for a period of 180 days.

On-line inspection scheduling now available on the City of Reno's website www.ci.reno.nv.us > Online Services Menu > Community Development Permits > Request Inspection Permit. Contractors may create an account and schedule inspections or check plan status.

Job Date 7/31



BUILDING PERMIT APPLICATION

City of Reno
Community Development Department
460 Sierra Street -- P.O. Box 1800,
Reno, NV 89505

(775) 334-2063
FAX (775) 334-2043

EZ permit

Permit # _____

Rec'd By _____

FAXED
7/24/13

Commercial Residential

This application is to be used for minor electrical, mechanical and plumbing (without plans), and roofing permits only. INCOMPLETE applications cannot be processed. Completed applications may be faxed to (775) 334-2043 or emailed to permit@pemb.gov

Parcel Number: 004-292-17 Address: 1520 Steelwood Ln

Description of Work: Reno NV 89512

Install 40 gallon NG Water Heater

Owner Information:

Name: Reno Housing Authority Phone No: 324-31630
Address: 1525 E 9th Street Reno NV 89512

Contractor Information:

Contractor: Michael's Plumbing Contact Name: Mike
Address: 1675 Kappa Lane Sparks NV 89431
Phone No: 555-1111 Fax No.: 555-1111
Nevada License No.: 1102210 City License No _____
Email address: N/A

Project Information:

Contract Amount \$ 111.35 (valuation per IRC 108.3)

HVAC Install/Boots	Water Heater	Electrical & Plumbing	Roof
<u>_____</u> BTUs <input type="checkbox"/> Change-out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> Oil to Gas <input type="checkbox"/> Furnace only <input type="checkbox"/> A/C (_____ tons)	<u>40</u> gallons <input checked="" type="checkbox"/> Gas Replacement <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	<input type="checkbox"/> Elec Service Change _____ # of Amps <input type="checkbox"/> Water Use Replacement <input type="checkbox"/> Service line Replacement (Private Property only) <input type="checkbox"/> Gas line Add/Replace _____ feet <input type="checkbox"/> Low Spigots (Residential)	<input type="checkbox"/> Tear off <input type="checkbox"/> Composition <input type="checkbox"/> Recover - MAX 2 layers allowed <input type="checkbox"/> Add sheathing <input type="checkbox"/> Increase other _____

I understand that this application does not guarantee permit issuance nor allow work to commence. I certify that I have the authority and authorization of the property owner and above listed contractor to obtain the permit.

Tracy Archuleta Scott Archuleta 7/24/13
City Applicant Name Applicant Signature Date



**City of Reno
Building Permit**

Total Perm Fee: \$374.00

Permit Number: BLD72-04238

Four year

Address: 1004 STEELWOOD UNIT #1

Owner Information

Job Type: Building/Remodel/Alter/Model E Address NA

Permits: 064-280-17 Valuation: \$6,000.00

Zoning: MF-A Occupancy:

Trade: Other

Working Hours: 0 Fee Structure:

Height: Five (5) ft.

Area/ Sq Ft: 2100 sq. ft.

Subcontractors: FRATELLO S

Lot:

101 Stryker Blvd. City of Reno
525 E 9th St.
RENO NV 89517

Tracked Information

Description of Work as the Owner

REMODEL

UPGRADE KITCHEN TO ADA ACCESSIBLE STANDARDS
ELECTRICAL, PLUMBING, MECH

Builder / General Contractor:

EXPRESS DEVELOPMENT
1020 E CURET ST
SPARKS, NV 89431
775-355-8800
NVLIC: 0085759

Subcontractors:

EXPRESS PLUMBING
1020 E CURET ST
SPARKS, NV 89431
775-331-4277
NVLIC: 1044739
COMPLETE ELECTRIC LLC
30425 DOUBLEDT BLVD
RENO, NV 89521
775-771-3420
NVLIC: 0081620

The undersigned hereby certifies that the information provided herein is true and correct to the best of his/her knowledge and belief and that the applicant is the owner of the property described herein. The undersigned hereby certifies that the information provided herein is true and correct to the best of his/her knowledge and belief and that the applicant is the owner of the property described herein. The undersigned hereby certifies that the information provided herein is true and correct to the best of his/her knowledge and belief and that the applicant is the owner of the property described herein.

The undersigned hereby certifies that the information provided herein is true and correct to the best of his/her knowledge and belief and that the applicant is the owner of the property described herein. The undersigned hereby certifies that the information provided herein is true and correct to the best of his/her knowledge and belief and that the applicant is the owner of the property described herein.

[Signature] Date: 4-18-12

Signature of General Contractor or his Authorized Agent

Permit
This permit is valid for the construction of the project described in the application and is subject to the rules, regulations, and ordinances of the City of Reno.

[Signature] 4/17/12
Building and Safety Division

**ALL INSPECTIONS MUST
BE COMPLETED**

1504 STEELWOOD DR UNIT #1 LOT:

Inspection Record

Inspector: Stephen

Date:

Number of Inspections: 0112 District # 10/04

Planning Inspection: 0104 Planning Type No

Final Inspection: 0101 District # 10/04

0102 District # 10/04

0103 District # 10/04

PERMIT NUMBER: BLD412-84228

POST THIS PERMIT IN A CONSPICUOUS PLACE

Phone Inspection Record
City of Reno, Building Dept.

NOTICE, NOTES

It is intended to remove the permit upon the job site and to have inspection have been made

The applicant, please see the Building Department page 104 of (11) 204-2206 of the same address to the Contractors and the schedule inspection notice in permit and a required section is contained in the 2008 Permit Code at the Department of Building and Construction, 1000 S. Virginia St. Reno, NV 89502. If you have any questions, please call the Building Department at (775) 333-2206 or visit the website at (11) 204-2206. If you have any questions, please call the Building Department at (775) 333-2206.

The Department requires:

1. The permit holder must maintain the permit in a safe place and keep it in good condition. The permit holder must maintain the permit in good condition and keep it in good condition.

2. The permit holder must maintain the permit in good condition and keep it in good condition.

NOTICE

The Permit shall be a permanent part of approved plans. Approved plans must be on the job site at all times and the inspection card given to applicant purposes. Plans are approved in accordance with the IRC except that some structural details shall be provided unless otherwise stated in the code. The Code Building Department shall have a copy of all plans and 100 copies. Any changes to the approved drawings shall be submitted to the Building Department. Permits are subject to inspection, permits, cards and permits in accordance with the IRC. It is the responsibility of the permit holder to maintain the permit in good condition.

CONTRACTOR AND MODIFICATIONS TO WORK ON PERMIT ARE SUBJECT TO THE CITY OF RENO. CONTRACTOR SHALL MAINTAIN THE PERMIT IN GOOD CONDITION.

PERMITS EXPIRATION

In accordance with the IRC, this permit shall expire if work is not commenced within 180 days from the issue date or if work is suspended or abandoned at any time after the work is commenced for a period of 180 days.

On-line inspection scheduling is available on the City of Reno's website www.reno.gov - Building Services Permit - Community Development Permit - Various Permit Plans. Contractors may create an account and schedule inspections or check plan status.

**BUILDING PERMIT APPLICATION****RESIDENTIAL**

City of Reno:
 Community Development Department
 460 Sinclear Street - P.O. Box 1900, Reno, NV 89505
 (775) 334-2063 - www.reno.gov
 Fax (775) 334-2043

Case No.: _____

Rec'd By: _____

BLD12-04238Parcel Number: _____ Address: 1504th 1 Steel wood**Description of Work:**

*Remodel - update kitchens ADP
 Electrical
 Plumbing*

Owner Information: Owner/Builder Permit? Yes No

Name: _____ Phone No: _____

Address: _____

Contractor Information:General Contractor: *Starr Development Inc* Contact Name: *Bill Sanborn*Address: *1218 Kluge Ln Sparks NV 89431*Phone No.: *754-6800* Fax No.: *754-6873*Nevada License No.: *64785* City License No.: *110799***Person to contact regarding the permit:**Name: *Bill Sanborn* Phone No.: *745-2634*Email: *bill@starrdevelopment.com* Fax No.: *754-6873***Design Professional Information:**

Architect's Name: _____ Phone No.: _____

Engineer's Name: _____ Phone No.: _____

Email: _____ Fax No.: _____

Project Information:Valuation: \$ 6,000.00 Zoning: _____ Lot # _____

No. of Stories: _____ Project Sq. Footage: _____

Building Height: _____

Fire Sprinkler System? Yes No Current Living Area Sq. Footage: _____Fire Alarm System? Yes No Proposed Living Area Sq. Footage: _____Septic Tank? Yes No Current Garage Sq. Footage: _____Water Well? Yes No Proposed Garage Sq. Footage: _____

Fire Demo Permit No.: _____ Proposed Living & Garage Sq. Footage: _____

Shed Sq. Footage: _____

1 17-30-00
004-292-18

OVER —

Plumbing Contractor: Epstein Plumbing Phone No.: 331-1277
Nevada License No.: 4799 (Required) City License No.: _____

Mechanical Contractor: _____ Phone No.: _____
Nevada License No.: _____ (Required) City License No.: _____

Electrical Contractor: Complete Electric Phone No.: 852-1361
Nevada License No.: 67826 (Required) City License No.: _____

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing - Steel Framing Occupancy Use _____

Occupancy Group: Single Family Home - Townhouse - Duplex

Affordable Housing? Yes No

Applicant (print): Bill Sanderson (sign): Bill Sanderson Manager

Rev. 04/25/10



City of Reno
Building Permit

Total Fees Over \$144.25

Permit Number: BLD12-04239

Total VMTs

Address: 1544 STEELWOOD LANE #1

Owner Information

HOUSING AUTHORITY CITY OF RENO
1525 B 9TH ST
RENO, NV 89542

Job Type: Building Alteration Erection Agreement

Permit No: 004 007-17

Volume: 1.4 000.00

Zoning: MR-30

Occupancy:

Type:

Group:

Decking (1/2" x 6")

Fire Sprinkler:

Height:

Fire Alarm:

Area (\$q Ft):

Stories:

Submitted By: P. KELLY S.

Lot:

Tenant Information

Builder / General Contractor

Description of Work in Re Draw

RENOVO

UPGRADE TO CODE TO ADA PEDESTAL STAIRS AND
ELECTRICAL BY (RENOVO) MECH

SIEMENS DEVELOPMENT

1721 E COPPER
SPARKS, NV 89431
775-358-6800

Rev. No.: 006750

The undersigned hereby certifies to correct omissions and add amounts to City of Reno all claims, obligations and debts here and there in respect of all claims of liability that are asserted against the City of Reno arising from the work specified in this permit. I, the undersigned, do not intend to sue the City of Reno for the amount of the undersigned's obligations to the City of Reno in connection with the work specified in this permit. I, the undersigned, do not intend to sue the City of Reno for the amount of the undersigned's obligations to the City of Reno in connection with the work specified in this permit.

The undersigned hereby certifies to correct omissions and add amounts to City of Reno all claims, obligations and debts here and there in respect of all claims of liability that are asserted against the City of Reno arising from the work specified in this permit. I, the undersigned, do not intend to sue the City of Reno for the amount of the undersigned's obligations to the City of Reno in connection with the work specified in this permit. I, the undersigned, do not intend to sue the City of Reno for the amount of the undersigned's obligations to the City of Reno in connection with the work specified in this permit.

Subcontractor

FINNESCO Plumbing

1221 E ORIO ST
SPARKS, NV 89431
775-331-1177

NY&C: (042) 91

COULTELE ELECTRIC LLC

3024 DOUGLASS BLVD
RENO, NV 89521
775-774-9400

Rev. No.: 006750

By: _____ Date: _____

Building Official / Contractor of the Authorized Agent

Building Permit

Permittee hereby grants the undersigned authority to describe and file applications on behalf of the permittee, and to describe the work in the City of Reno.

BOB J. KELLY (Signature)
RENO, NV 89542 (Address)
1544 STEELWOOD LANE #1 (Address)

Building and Safety Division

PAID
APR 18 2012
CITY OF RENO
PERMIT PLACE

ALL INSPECTIONS MUST
BE COMPLETED

1544 STEELWOOD LN UNIT A3 LDT:

Inspection Record

Inspector Signature

Date

Electrical Inspections
6142 Steelwood Road

Planning Inspections
6301 Phasing for Det

6142 Steelwood Road

6142 Steelwood Road

6142 Steelwood Road

6142 Steelwood Road

PERMIT NUMBER: 6LD12-1428

POST THIS PERMIT IN A
CONSPICUOUS PLACE

Permit Inspection Record
City of Brownsville, Texas

GENERAL NOTICE

This notice is being placed here to advise you that all the inspections have been made.

For additional details of the Building Department Code Book or 1175.334-2326-4 and the District A Fee Collection and the building inspection codes or items and a detailed version is submitted in the attached Permit Page of the Department's Inspection Department. Approval is given for the work shown on the site plan and the performance of the work of the inspector is given for the Building Department Code Book or 1175.334-2326-4 and the District A Fee Collection and the Building Department Code Book or 1175.334-2326-4.

THE INSPECTOR'S SIGNATURE

After the Fee Department inspection is completed the Fee Inspector will explain the permit system provided to the submitted inspection records which should be returned to the inspector.

Please refer to the Fee Department comments noted on the back side page of the permit plan for additional information and requirements.

NOTICE

The Permit shall be a preliminary plan or approved plans prepared under 1175.334-2326-4 and shall be on the permit site at all times and the inspection shall be in accordance with the Building Department Code Book or 1175.334-2326-4 and the District A Fee Collection and the Building Department Code Book or 1175.334-2326-4. The Permit Building Code Book or 1175.334-2326-4 and the District A Fee Collection and the Building Department Code Book or 1175.334-2326-4. Any changes to the approved drawings shall be submitted in writing for approval. Provide a copy of all plans, drawings, specifications and details - including with the Building Department Code Book or 1175.334-2326-4 and the District A Fee Collection and the Building Department Code Book or 1175.334-2326-4.

Consistent and immediate in case of plan and provision of building codes and standards as adopted by the City of Brownsville specified in part 1175.334-2326-4 and the Building Department Code Book or 1175.334-2326-4.

PERMIT EXPIRATION

In accordance with the B.C., only permits that expire or that is not commenced within 180 days from the receipt date or if work is suspended or abandonment of any kind after the work is commenced for a period of 180 days.

Online inspection scheduling now available on the City of Brownsville website www.ci.brownsville.tx.us or by calling Services. Home - Community Development Services - Virtual Permit Place. Contractors may create an account and schedule inspections or check plan status.

BUILDING PERMIT APPLICATION**RESIDENTIAL**

City of Reno -
 Community Development Department
 450 Siskiyou Street - P.O. Box 1800, Reno, NV 89506
 (775) 334-2063 · www.reno.gov
 Fax (775) 334-2043

Case No.: _____

Rec'd By: _____

BLD 12-04239Parcel Number: _____ Address: 1544th 3 Steel wood**Description of Work:**

*Remodel - update kitchens ADH
 Electrical
 Plumbing*

Owner Information: Owner/Builder Permit? Yes No

Name: _____ Phone No.: _____

Address: _____

Contractor Information:

General Contractor: *Shane Development LLC*
Shane Construction Development LLC Contact Name: Bill Sanderson

Address: 1218 Klappan Lane Sparks NV 89431Phone No.: 762-6800 Fax No.: 762-6833Nevada License No. 62795 City License No.: 110799**Person to contact regarding the permit:**Name: Bill Sanderson Phone No.: 745-2634Email: bill@shaneconstructiondevelopment.com Fax No.: 762-6833**Design Professional Information:**

Architect's Name: _____ Phone No.: _____

Engineer's Name: _____ Phone No.: _____

Email: _____ Fax No.: _____

Project Information:Valuation: \$ 6,000.00 Zoning: _____ Lot # _____

No. of Stories: _____ Project Sq. Footage: _____

Building Height: _____

Fire Sprinkler System? Yes No Current Living Area Sq. Footage: _____Fire Alarm System? Yes No Proposed Living Area Sq. Footage: _____Septic Tank? Yes No Current Garage Sq. Footage: _____Water Well? Yes No Proposed Garage Sq. Footage: _____

Fire Demo Permit No.: _____ Proposed Living & Garage Sq. Footage: _____

Shed Sq. Footage: _____

OVER →

004-392-15

Plumbing Contractor: Express Plumbing Phone No.: 331-1277
Nevada License No.: 12181 (Required) City License No.: _____

Mechanical Contractor: _____ Phone No.: _____
Nevada License No.: _____ (Required) City License No.: _____

Electrical Contractor: Complete Electric Phone No.: 852-1361
Nevada License No.: 67826 (Required) City License No.: _____

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing - Steel Framing Occupancy Use _____

Occupancy Group: Single Family Home - Townhouse - Duplex

Affordable Housing? Yes No

Applicant (print) Bill Sanderson (sign) Bill Sanderson Manager



**City of Reno
Building Permit**

Total Fees Due: \$114.25

Permit Number: BLD12-04240

Total VMTs:

Address: 1548 STEELWOUND LANE ST

County Jurisdiction:

REGULATING AUTHORITY: CITY OF RENO
4325 E 2745 ST
RENO, NV 89512

Job Type: Remodel/Alteration/Expansion/Other

Parcel No.: 004291-17 Valuation: \$ 6,000.00

Zoning: IAF-70 Occupancy:

Type: Single-Family

Occupants: 0 Fee Schedule:

Height: Fee: \$100.00

Area/Sq Ft: Storage:

Qualifications: PE = 0.0000

Lot:

Town/Jurisdiction:

Description of Work to Be Done:

REMODEL
UPGRADE KITCHEN TO MEET APPLICABLE STANDARDS-
ELECTRICAL, PLUMBING, MECH.

Builder/Contractor:

SEPPATE ELECTRIC/PLUMB/T
1020 E OREGON
SPARKS, NV 89434
75-295-6800
NV Lic.: 0066759

The applicant hereby certifies that the information and data furnished on this City of Reno Building Permit application and permit are true and correct to the best of their knowledge and belief. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process.

Subcontractors:

EXPRESS PLUMBING
1220 E OREGON ST
SPARKS, NV 89434
775-331-1277
NV Lic.: 0042198

The applicant hereby certifies that the information and data furnished on this City of Reno Building Permit application and permit are true and correct to the best of their knowledge and belief. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process. The applicant understands that the City of Reno may require the applicant to provide additional information or data at any time during the review process.

COMPLETE ELECTRIC LLC
4425 DOUBLE R BLVD
RENO, NV 89521
775-771-5426
NV Lic.: 0067826

By: [Signature] Date: 4-18-12

Builder/General Contractor or the Authorized Agent

Building Official

Permit is hereby granted to erect, to work, to alter or to demolish the structure described herein, subject to the provisions of the City of Reno Building Code.

APPROVED

[Signature] 4/17/12
Building and Safety - CITY OF RENO

PAID
APR 18 2012
CITY OF RENO
PERMIT PLACE

**ALL INSPECTIONS MUST
BE COMPLETED**

1548 STEELWOOD LAWNRT PILOT:

Inspected: Recd:

Inspector:

Date:

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

Plan No. 1548-00000000

PERMIT NUMBER: 201020240

**POST THIS PERMIT IN A
CONSPICUOUS PLACE**

**Permit Inspection Record
City of Reno Building Permit**

GENERAL NOTES

THIS PERMIT IS VALID FOR THE PERIOD SHOWN ON THE PERMIT. ANY WORK BEYOND THE PERIOD MUST BE REAPPROVED.

FOR APPROVAL OF THIS PERMIT, THE SUBMITTED DRAWINGS AND SPECIFICATIONS MUST COMPLY WITH THE CITY OF RENO BUILDING DEPARTMENT REGULATIONS. ALL PERMITS MUST BE POSTED IN A CONSPICUOUS PLACE AT THE JOB SITE. ANY WORK BEYOND THE PERIOD MUST BE REAPPROVED. THE CITY OF RENO BUILDING DEPARTMENT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PERMIT. THE CITY OF RENO BUILDING DEPARTMENT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PERMIT.

Fire Department Approval

After the Fire Department inspection has been completed, the Fire Inspector will determine the permit number provided on the submitted inspection drawing when it comes to schedule an inspection.

Please refer to the Fire Department approval letter on the back and back page of the approved plans for additional information and requirements.

NOTICE

It is hereby notified that a minimum amount of insurance must be obtained. Approved plans must be on file at all times and the inspector will require the insurance papers. Plans are approved at the discretion of the City of Reno Building Department. The City of Reno Building Department does not warrant the accuracy of the information provided on this permit. Any changes to the approved drawings must be submitted in writing for approval. Projects are subject to inspection at any time and subject to cancellation in accordance with RMC, Chapter 16. Contractors are charged with liability with the City of Reno Building Department. General liability insurance is required.

Contractors are responsible for their own and workers' safety. Building codes and ordinances as adopted by the City of Reno shall apply to all projects.

PERMIT EXPIRATION

In accordance with the RMC, this permit shall expire if work is not commenced within 180 days from the issue date of the permit or if the permit is abandoned at any time prior to the work being commenced for a period of 180 days.

Online inspection scheduling now available on the City of Reno's website www.reno.gov. Online forms at www.reno.gov. Call (775) 784-2222 for more information. Permit fees - Contractors may create an account and schedule inspections on the 24/7 ONLINE.

BUILDING PERMIT APPLICATION**RESIDENTIAL**

City of Reno
 Community Development Department
 450 Sinclair Street - P.O. Box 1900, Reno, NV 89505
 (775) 334-2093 - www.reno.gov
 Fax (775) 334-2043

Case No. _____

Rec'd By: _____

BLD12-04240Parcel Number: _____ Address: 1543 #1 Steel Wood**Description of Work:**

Remodel - update kitchens A/D/A
Electric
Plumbing

Owner Information: Owner/Builder Permit? Yes No

Name: _____ Phone No: _____

Address: _____

Contractor Information:

Steven Development Reno
 General Contractor: *Steven Construction Development LLC* Contact Name: *Bill Steinbock*

Address: 1218 Kappa Ln Sparks NV 89431Phone No.: 756-6800 Fax No.: 756-6833Nevada License No.: 68795 City License No.: 110799**Person to contact regarding the permit:**Name: Bill Steinbock Phone No.: 745-2634Email: bill.steinbock@stevenconstructiondevelopment.com Fax No.: 756-6833**Design Professional Information:**

Architect's Name: _____ Phone No.: _____

Engineer's Name: _____ Phone No.: _____

Email: _____ Fax No.: _____

Project Information:Valuation: \$ 6,000.00 Zoning: _____ Lot # _____

No. of Stories: _____ Project Sq. Footage: _____

Building Height: _____

Fire Sprinkler System?: Yes No Current Living Area Sq. Footage: _____Fire Alarm System? Yes No Proposed Living Area Sq. Footage: _____Septic Tank? Yes No Current Garage Sq. Footage: _____Water Well? Yes No Proposed Garage Sq. Footage: _____

Fire Demo Permit No.: _____ Proposed Living & Garage Sq. Footage: _____

Shed Sq. Footage: _____

OVER →

004-392-18

Plumbing Contractor: Express Plumbing Phone No.: 931-1277
Nevada License No.: 42791 (Required) City License No.: _____

Mechanical Contractor: _____ Phone No.: _____
Nevada License No.: _____ (Required) City License No.: _____

Electrical Contractor: Complete Electric Phone No.: 952-1361
Nevada License No.: 67826 (Required) City License No.: _____

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing - Steel Framing Occupancy Use: _____

Occupancy Group: Single Family Home - Townhouse - Duplex

Adaptable Housing? Yes No

Applicant (print): Bill Sanderson (sign): Bill Sanderson

APPENDIX J

Property Evaluator Qualifications



Scott Moyer

Construction Cost Estimator/HUD Cost Analyst

EDUCATION

- BS, Civil and Building Design Engineering - Old Dominion University

CERTIFICATIONS

- HUD MAP Certified

SUMMARY OF PROFESSIONAL EXPERIENCE

Mr. Moyer brings over 20 years' experience and has extensive experience as a Senior Estimator/Cost Analyst working with General Contractors primarily in the multi-family, commercial and industrial construction.

As a Construction Cost Estimator and a Senior HUD Cost Analyst, Mr. Moyers responsibilities consist of developing Independent Cost Estimates for project economic cost comparison analysis and risk identification, then authoring Conceptual Budget Reviews (CBR), Construction Risk Analysis (CRA), and Cost to Complete (CTC) reports for the Construction Risk Management (CRM) division of AEI Consultants. Responsible for coordination, planning, and oversight efforts for assigned FHA Cost Reviews in accordance with directives as set forth in the HUD MAP Guide. Duties include review of project documents for completeness and coordination, and to determine discrepancies or conflicts in the documents which may lead to adverse cost impacts to the project, advising the MAP Team members in proper resolution of issues and HUD MAP cost reporting procedures, and final approval to FHA of proposed project costs submitted by the project General Contractor. Cost Review involves a fully independent project cost estimate to be developed for comparison analysis, schedules to be reviewed for adequate duration and monthly draw amounts, addendum letters for updates to projects at firm application, and any required resolution of HUD/FHA review produced comments.

All produced cost review estimates assembled into an in-house database for future work cost approvals. Non-HUD roles taken on involved production of Cost to Complete Reports, Insurable Replacement Valuations, and cross-training for Construction Loan Monitoring (CLM). Additional responsibilities include cost reviews for HUD financed projects utilizing either the FHA 223(f), 221(d)(4) or 232 Lean Loan Program.

PROJECT EXPERIENCE

Project experience for Mr. Moyer includes:

- Cedar Grove Portfolio - 4 -property multifamily dwelling with 1,125 unit for veterans. Mr. Moyer developed an Independent Cost Estimate, for this project economic cost comparison analysis and risk identification, then authorized Conceptual Budget Review.
- Frontenac, MO - Is a Hospitality building with 253 rooms. Mr. Moyer prepared a Conceptual Budget Review on this property. Costing was based on R.S. Means building construction cost data and R.S. Means Square Foot Cost Reports along with internal data to provide a cost comparison of the proposed budget with typical industry costs.

A list of HUD compliant cost estimating project Mr. Moyer completed are summarized below:

HUD MAP 221 (d)(4) Multifamily New Construction (NC) & Sub-Rehabilitation (SR) Program

- The Station at Gardner Mill, West Jordan City, Utah
- Cedar Court Apts. and Site Ren, Norwalk, Ct.
- Meadow Cliff Apartments, Oklahoma City, Oklahoma
- Walker Court North & South, Jonesboro, Arkansas
- Cameron Creek Apartments, Tempe., Arizona
- Elevate as Southwest Station, Eden Prairie, MN
- The Elliot, Little Rock, Arkansas
- The Commodore Place Apartments, Cleveland, Ohio
- River Run Apartments, North Bend, Washington
- RAD Lofts, Asheville, NC
- Midlothian Town Center Apartments, Midlothian, Virginia
- Gateway at Carolina Forest, Myrtle Beach, SC
- Midtown Pointe, Royal Oak, Michigan
- Lakehouse Commons,
- Buffalo Sunset Apartments, Las Vegas, NV
- Gateway at Carolina Forest, Myrtle Beach, SC
- Dwell @ 2nd, Philadelphia, PA
- Brennan Point Apartments, Newport News, VA

HUD MAP 232 Lean, Healthcare, Assisted Living, and Skilled Nursing Facilities

- The Guilford House, Guilford, Connecticut
- Congress Oaks, Palm Springs, Florida
- Abbingon Crossing of Wilson, Wilson, North Carolina
- Grand View Place, Grand Rapids, Michigan
- The Highland Club, Baton Rouge, Louisiana
- The Park at Sydney Drive, Birmingham, Alabama
- Hinds County Nursing and Rehabilitation Center, Byram, Mississippi
- Brandermill Assisted Living, Chesterfield, Virginia

- Jasper Senior Living, Jasper, Indiana
- Nevins Nursing and Rehab Center, Methuen, MA
- Parkhaven Retirement & Assisted Living, Manhattan, Montana

HUD MAP 223 Heavy-f, Multifamily Refinance with Heavy Renovation

- Pecan Place
- Euclid Hills Villa



Jeb Bonnett

Director of Building Assessments - HUD

EDUCATION

- B.B.A - Finance, James Madison University
- Principles of Real Estate Program, James Madison University

CERTIFICATIONS

- HUD Multi-Family Accelerated Processing (MAP) Cost/A&E Seminar - New York City
- HUD Multi-Family Accelerated Processing (MAP) PCNA Workshop - Columbus
- Virginia Housing Development Authority - Universal Design Training
- Fair Housing Act Accessibility Training Course- Phillip Zook
- Fair Housing Act Accessibility Training Seminar- Fair Housing Act First
- Elevator Training Courses - Sanjay Kamani, QEI, KP Property Advisors LLC
- Building Performance Institute - Training Services
- Building Specs Training Institute, Building/Design Inspection Courses

SUMMARY OF PROFESSIONAL EXPERIENCE

Mr. Bonnett has worked exclusively in the niche HUD real estate due diligence consulting industry since 2005. He has performed and directed thousands of building assessment projects for HUD MAP, HUD LEAN, and Public Housing Authority clients. He has expert knowledge of HUD's Capital Needs Assessment guidelines and software reporting requirements. In addition, he has extensive experience and training on numerous accessibility standards, including, UFAS, ADA, ANSI, and the Fair Housing Act Guidelines.

As Director of Building Assessments - HUD, Mr. Bonnett is responsible for providing direction for the development of HUD Building Assessment services throughout AEI. Day to day responsibilities include, creating organizational process assets, training internal and external stakeholders, identifying and understanding industry guidelines for HUD Building Assessment services, senior reviewing, project oversight, business development and client management.

PROJECT EXPERIENCE

Project experience for Mr. Bonnett includes:

- Performing and directing the successful completion of over 3,000 HUD MAP and HUD LEAN compliant Capital Needs Assessments.
- Performing and directing the successful completion of RAD and GPNA projects for over 100 HUD Public Housing Authority AMPs.
- Leading the creation of software reporting platforms to efficiently populate HUD's CNA E-Tool, RAD Tool, and GPNA Tool software systems.
- More than 5 years' experience in multifamily assessments including numerous assignments for Freddie Mac, Fannie Mae and HUD execution.
- Creating and performing HUD E-Tool training seminars for HUD MAP lenders and internal staff.



Matthew Youngblood

Senior Project Manager

B.S. - Environmental Science, Colorado Mesa University, Grand Junction, CO
AAS - Forest Technology, University of NH, Durham, NH

Colorado Certified Asbestos Inspector Certification #14697
US HUD LP Visual Assessment Course
OSHA 40-Hour Hazardous Waste Operations and Emergency Response Training

Mr. Youngblood has performed Due Diligence services in 45 of the 50 states on in excess of 2,000 properties. To ASTM compliance and satisfaction of client requirement. Mr. Youngblood's management and technical experience has allowed AEI's projects to be performed in a cost effective and timely manner to the satisfaction of AEI's clients and regulatory agencies. On projects including: Phase I Environmental Site Assessments, Property Condition Assessments, Environmental Transaction Screens, Spill Reports and Investigations, Subsurface Remediation System Installation and Monitoring as well as Phase II soil and groundwater investigations since 2003.

Project experience for Mr. Youngblood includes:

Phase I Environmental Site Assessments, Environmental Transaction Screens and Property Condition Assessments on a wide range of properties, including multi-tenant residential, commercial office, retail strip centers and mall properties as well as industrial and warehousing facilities

More than 5 years' experience in multifamily assessments including numerous assignments for Freddie Mac, HUD, and Fannie Mae execution.

The design and implementation of Phase II soil sampling investigations for a variety of suspected contaminants for UST removal, hazardous material spills and due diligence purposes.

Asbestos Inspections and Lead Based Paint sampling.



Roy Anderson

PE - Seismic Services Manager, Building Assessments

EDUCATION

- University of California, San Diego; BS Structural Engineering 1990

CERTIFICATIONS

- Professional Engineer, California, Civil 82059
- California Licensed General Contractor, B641049, Inactive
- ATC First Responder Training, California OES Volunteer
- Redwood Empire Remodelers Association, Board Member, Past President
- Appointed to the City of Santa Rosa Board of Building Regulations Appeals, Chairman
- Committee Member ASTM WK55885 Seismic Risk Assessment of Real Estate Portfolios
- American Society of Civil Engineers (ASCE)
- Structural Engineers Association of Northern California (SEAONC)
- Earthquake Engineering Research Institute (EERI)

SUMMARY OF PROFESSIONAL EXPERIENCE

Mr. Anderson has over 39 years of construction, construction management, structural design, seismic retrofit, structural assessment, and commercial due diligence experience. He owned and operated a successful structural design consulting firm for over 14 years.

His project experience includes public infrastructure, public works, and private developments including both residential and commercial projects. He has acted as a regional manager for a national consulting services firm overseeing property and casualty and seismic risk assessment operations in the western states, performing over 2000 Seismic Risk Assessment (Probable Maximum Loss) assessments and reports in the seismically active United States, Europe, and Mexico, over 100 Property Condition Assessments, and over 400 Property Damage Assessments for the insurance industry in 38 states. He has investigated and assessed damage in the 2014 Napa 6.0, Virginia 5.8, Oklahoma 5.7, and Northridge 6.7 earthquakes.

Mr. Anderson currently oversees and manages the Seismic Services Division of AEI's Building Assessments Department. Responsibilities include Senior Assessment of Seismic Risk Assessment Reports, Conducting Peer Reviews, scheduling, Seismic Retrofit Design, interfacing with Clients, providing outreach and education to Clients and Building Owners.

Some of his specific areas of expertise include forensic analysis of architectural and structural damage, seismic assessments of buildings, structural remediation and

rehabilitation of properties (URM, Historic, seismic, tornado, hurricane, flood, and fire), and structural design of swimming pools, wood and timber framed structures, structural steel structures, reinforced concrete structures, reinforced masonry structures, and pre-manufactured light gage steel structures.

PROJECT EXPERIENCE

Project experience for Mr. Anderson includes:

- Structural Design since 1991
- Seismic Retrofit Design since 1991
- Seismic Risk Assessments since 1994
- Forensic Assessments since 2007

Publications: 2016 ASTM Seismic Standards Update, California Mortgage Finance News, Fall 2016.



Staige Miller

Director of Environmental Services, HUD

EDUCATION

- MPA - Master of Public Administration, Virginia Commonwealth University
- B.S. - Environmental Policy & Planning and Political Science, Virginia Polytechnic Institute & State University

CERTIFICATIONS

- HUD Environmental Review Training
- HUD Multifamily Accelerated Processing (MAP)/LEAN Section 232 Underwriter Training
- AHERA Accredited and Virginia Licensed Asbestos Inspector #3303-002751
- ITRC Vapor Intrusion Pathway: A Practical Guideline (2-day Training)
- ASTM E 2600 Vapor Encroachment Online Course - commonground University
- Building Performance Institute - Training Services

SUMMARY OF PROFESSIONAL EXPERIENCE

Ms. Miller has worked exclusively in the niche HUD real estate due diligence consulting industry since 2000 coinciding with the original publication of the HUD MAP Guide. She specializes in providing HUD environmental deliverables and has performed and directed thousands of Phase I and II Environmental Site Assessments, Asbestos, Lead-Based Paint and Radon assessments, noise assessments, 8-Step Decision-Making Processes, and Environmental Review Records for the Related Federal Laws and Authorities for HUD MAP, HUD LEAN, and Public Housing Authority clients. Ms. Miller has expert knowledge of HUD's MAP and LEAN Guidelines and reporting platforms. In addition, she has extensive experience documenting National Environmental Policy Act (NEPA) compliance for various federal, state and local agencies.

As Director of Environmental Services - HUD, Ms. Miller is responsible for providing direction for the development of HUD Environmental Services throughout AEI. Day to day responsibilities include, creating organizational process assets, training internal and external stakeholders, identifying and understanding industry guidelines for HUD Environmental Services, senior reviewing, project oversight, business development and client management.

PROJECT EXPERIENCE

Project experience for Ms. Miller includes:

- Client/Agency liaison to provide technical guidance on regulations and to ensure the successful completion of the Environmental Review process.
- Client training and speaking engagements to inform and educate clients regarding HUD environmental due diligence and emerging topics. Ms. Miller's speaking engagements have included presentations to the various HUD lender associations and client-specific training sessions. Ms. Miller is also the Environmental Instructor for the Mortgage Bankers Association (MBA) FHA Multifamily Underwriter Training Program.